



**AN TRIANTÁN,
at STATION ROAD, KILDARE TOWN, CO. KILDARE**

for KILDARE COUNTY COUNCIL
January 2025

PART 8 REPORT



**Comhairle Contae Chill Dara
Kildare County Council**

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1.0 Introduction

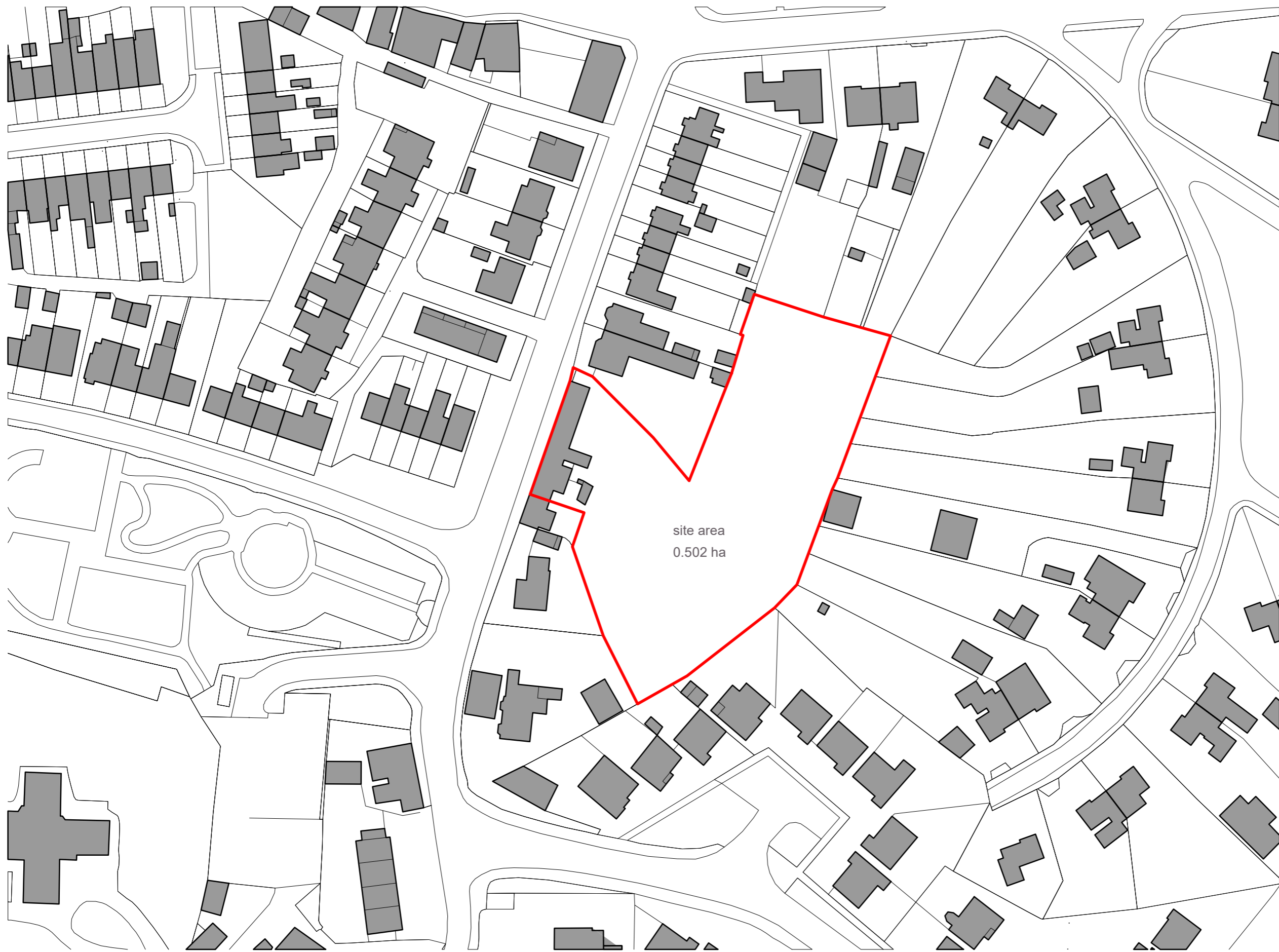
1.1 Background to the Report

- 1.1.1 This document has been prepared on behalf of Kildare County Council and the Design Team to summarize the design of the proposed housing development at Station Road to submission of the Section 179A notification. It should be read in conjunction with all consultant reports.
- 1.1.2 On the 27th January 2023, the Minister for Housing, Local Government and Heritage, Darragh O'Brien, and the President of The Royal Institute of the Architects of Ireland, Charlotte Sheridan, launched the 'Town Centre Living' Architectural Design Competitions for the design of four social housing schemes, with one in each of four town centre sites across the country. The winning entries were announced by the Department of Housing, Local Government and Heritage on the 14th June 2023.
- 1.1.3 Shay Cleary Architects' entry was selected as the winning entry for the site at Station Road, Kildare, with the jury commending "*its convincing urban strategy and the design quality of the individual units.*"
- 1.1.4 Following the 'Town Centre Living' competition, Shay Cleary Architects have been directly appointed by Kildare County Council as lead appointed party of an integrated design team.

1.2 Project Brief

- 1.2.1 As part of the competition requirement, the Department of Housing, Local Government and Heritage and Kildare County Council issued a briefing document. The brief summarized the expected housing quantum and mix to be delivered, an indicative budget and specific requirements for the site with reference to the Kildare County Development Plan 2023-2029 and Kildare Town Local Area Plan 2012-2018 (now superseded by an updated LAP)
- 1.2.2 The Design Team reviewed this brief during the competition stage and concluded that a greater number of units could be accommodated on the site using innovative architectural typologies. This insight is explored further under section "3.0 Architectural Design Statement" on page 24.
- 1.2.3 Kildare County Council have procured an adjacent plot of land and have instructed the Design Team to prepare an amended design to include these lands. Following a review of the additional lands, the Design Team prepared a revised layout, increasing the proposed quantum of housing and incorporating feedback received at Stage 1 approval from the Department of Housing, Local Government and Heritage.





1.3 Design Team

1.3.1 Client

Kildare County Council
Áras Chill Dara
Naas,
Co. Kildare



1.3.2 Architects

Shay Cleary Architects
18 Palmerston Park
Rathmines
Dublin D06 EY64



1.3.3 Multidisciplinary Engineering Consultant

Civil/Structural Engineer
Mechanical, Electrical Public Health Engineer
Fire Consultancy
Sunlight / Daylight Consultant



Cundall
2 Dawson Street,
Dublin D02 VK75

1.3.4 Cost Managers

Turner Townsend
Ashford House,
18-23 Tara St,
Dublin D02 VX67



1.3.5 Landscape Architect

Bernard Seymour Landscape Architects
4 Mary's Abbey,
Dublin D07 K0WY

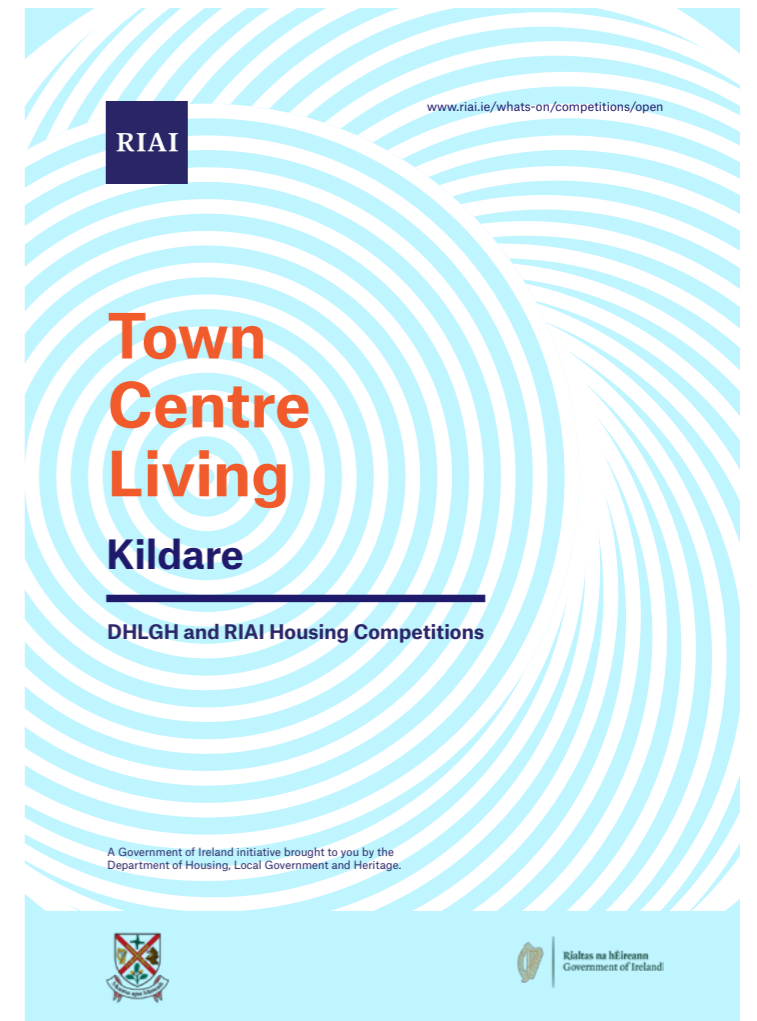


1.3.6 PSDP & Assigned Certifier

Garland Consultancy
Suite 11B The Atrium,
Maritana Gate,
Canada Street,
Waterford



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Winning Entry Award Presentation
Minister for Housing Darragh O'Brien, John Dobbin, Shay Cleary, Patrick Henderson

1.4 Project Description

1.4.1 The proposed development consists of:

1.4.2 The construction of 30 social housing units to include:

- 5no. 3 bedroom two storey duplex apartments;
- 1no. 3 bedroom three storey house;
- 2no. 2 bedroom two storey houses;
- 2no. 2 bedroom single storey apartments;
- 4no. 2 bedroom 3 person single storey apartments;
- 6no. 2 bedroom two storey duplex apartments;
- 10no. 1 bedroom single storey apartments;

1.4.3 The construction of ancillary structures to include:

- ESB substation;
- Switchroom;
- Secure cycle storage rooms;

1.4.4 Associated site works to include:

- Demolition of 2no. existing cottages and associated ancillary structures on Station Road;
- Erection of new boundary treatment to south, east and north boundaries;
- New vehicular and pedestrian entrance from Station Road;

1.4.5 Provision of:

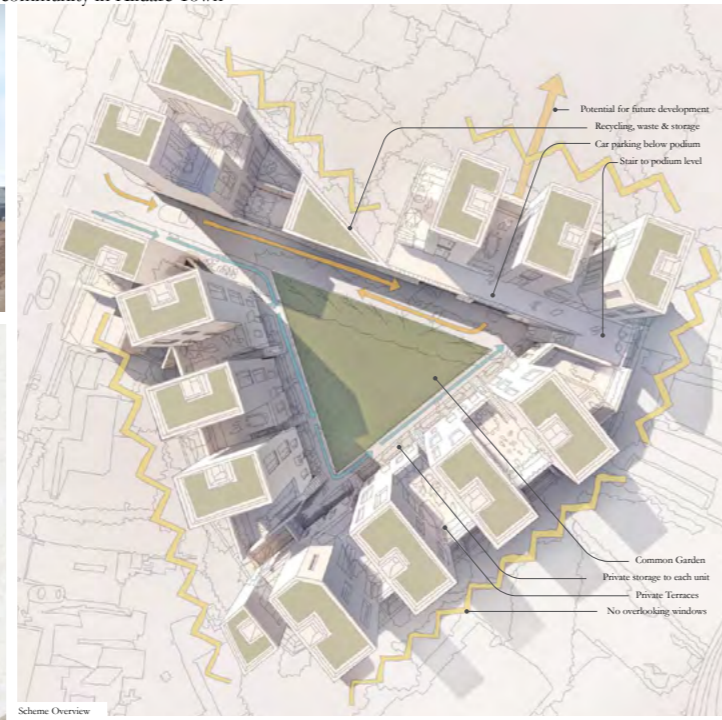
- 26no. vehicle parking spaces
- Of which 6no. provided with EV charging points
- 54 no. residents bicycle parking spaces
- Of which 4no. suitable for adapted cycles / cargo bikes
- 16no. visitor bicycle parking spaces
- Of which 4no. suitable for adapted cycles / cargo bikes

1.4.6 New landscaping, internal vehicular and pedestrian shared surface route, public lighting, site drainage works, ancillary site services and development works above and below ground.





View from Station Road



Scheme Overview



Public Room



Second Floor



Ground Floor



Typical Unit Exploded



Reference: Kildare Market Square



First Floor L350



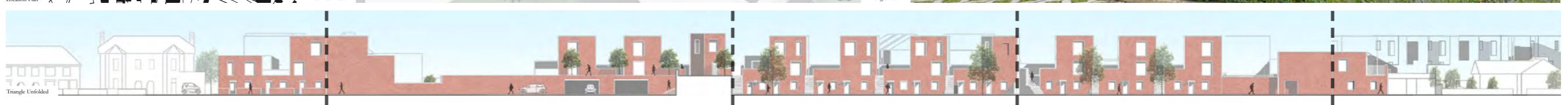
Location Plan



Cathedral View



Triangle View



Triangle Unfolded

An Thriantán. A Low-Rise, Medium-Density, Own-Door community in Kildare Town

Aspiration

Our project proposes to provide a defined place of real character, intrinsically linked to the urban form of Kildare Town. It will provide high quality housing in an urban form, entirely own door accessed, centred around a new community garden at the heart of the development, **An Thriantán**.

Site and Context

The site is a complex one, comprising varying boundary conditions to neighbours, a need to preserve amenity and privacy, and a challenging geometry. The project team saw the key project challenge as a need to provide a strong concept of enclosure to the development, defining a new community space at the heart of the development, all while acting as a considerate neighbour to the surrounding lands.

The Proposal

We propose a strongly modelled form of perimeter development to the site, forming a communal space of unique character. This proposed space resonates with the historic Market Square in Kildare Town at a smaller scale, echoing the form and urban presence of that particular place. The 18th century Market Square is a key reference point in the urban fabric of Kildare Town and as such is referenced in the proposed name of the scheme, **An Thriantán** (The Triangle).

To achieve quality housing without resorting to out of context apartments blocks, we propose to employ innovative housing typologies, which will provide higher density housing, of an own door format. Given the particularities of the site, it is of critical importance to resolve the key issue of overlooking to the rear of the proposed perimeter development, preserving the amenity of neighbours.

For some time, the project team have been conducting research on **medium-density, low-rise, high-quality housing typologies**, and their compatibility with existing development patterns nationally, in line with best international precedent. This has developed against the backdrop of the current housing crisis and has sought to recognize the particular issues which exist in our towns, of which Kildare is an exemplar.

Building Arrangement

Our research has led to the development of an alternative development model to traditional apartment blocks, which embraces traditional street-based urbanism and proposes own-door on-street accessed residential homes in a duplex format. The typology is comprised of own-door access garden apartments at the ground floor, with associated garden courtyards to the rear. Above these garden apartments is a duplex maisonette, accessed from an external stair leading to an external private terrace space at first floor level. Its lower floor comprises a generous living and kitchen/ dining space with ancillary facilities and upstairs are generous double bedrooms. Common cores, wasted circulation spaces and common services are largely designed out when compared with traditional apartment developments.

This typology creates high quality internal living spaces, which are dual or potentially even triple aspect and provides private open spaces which are far in excess of the minimum standards. Where possible the homes are orientated to take advantage of southerly and westerly aspects, with the courtyard being predominantly orientated to take advantage of the sun.

Most crucially, this typology avoids any overlooking issues to the rear above ground floor level. As a result, the homes can comfortably be located closer together than is traditional with opposing window schemes, without any risk of overlooking or overbearing. This critical feature allows for high quality residential design at a higher density while maintaining the low-rise nature of the surrounding context.

The results of our work in this research area have directly influenced the emerging design proposals for the site. The resultant development provides for up to 26no. homes in an exclusively own-door format. It provides for an attractive mix of accommodation types, orientations, and bed spaces, appropriate to the requirements of Lifetime Homes, Age Friendly Housing, and Universal Design.

As well as innovative own-door duplex homes, the scheme provides generous townhouses which form the entrance to the development from Bride Street to the west. The upper levels of the units will provide views to the historic cathedral to the south-west of the site, further anchoring the proposals in their context. The existing cottages could not be efficiently transformed to comfortable homes without jeopardising the better densification of the site. This established street line is maintained however, and the new homes step playfully, composing a sympathetic streetscape with their neighbouring buildings, and a gateway form marking the entry into the heart of the development.

Sustainability, Community and Biodiversity

The central community garden takes the form of a south and west oriented landscaped space, carefully defined by the homes surrounding it. By creating a continuous ribbon of active frontage to the perimeter, the central landscaped garden becomes a rich, flourishing focal point of the community. Every home looks onto this communal planted area with its own private planting areas and generous terraces. This encourages both an active community interaction and a range of biodiversity to prosper here, supported by sustainable drainage strategies, pollinating flora, biodiverse roof finishes and a grassland landscape. The scheme steps around and away from many of the existing trees, especially at the perimeter, where the majority of the mature existing trees remain as features of the private gardens.

The proposals promote the ideals of the 15minute city. It promotes a viable and sustainable densification of residential use for the site, which has a positive effect on local businesses and services. It aims to reduce car dependency, prioritising walking, biking, and shared forms of transport to the locality. The proposed structural design has been developed to work with the dimensions and opportunities of Cross Laminated Timber (CLT) construction throughout. This offers significant carbon reduction over traditional building materials, improved insulation values, and promotes a healthy indoor air climate. The units are proposed to be heated by heat pumps.

Accessibility

Accessible accommodation is provided at the ground floor level, including the potential for specifically wheelchair adapted housing, in accordance with the local housing needs assessment and UD Home standards. The upper level own-door duplexes are accessed from a part-m residential accessible stair, maximising accessibility across the scheme, while designing out costly lifts, common corridors and staircores. The car parking provision is provided discreetly under podium and including provision for the extension of the scheme to the north. The target floor areas set out in the Quality Housing for Sustainable Communities and Design Standards for New Apartments are not exceeded by more than 5-7% (except where allowed for the accommodation of a stair). Minimum individual room areas and minimum room widths are as recommended in these documents, within the applicable tolerances. The Design Manual for Quality Housing acceptable floor areas in duplexes (where more flexibility in respect of overall floor areas is appropriate) are generally achieved.



Fig. 3. Typical unit diagram



Concept image, low rise, medium density housing



Sandford Lodge, Shay Cleary Architects



Sandford Lodge, Shay Cleary Architects

1.5 Innovative Housing Typology

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1.5.3 Most crucially, overlooking issues to the rear above ground floor level are avoided. As a result, the units can comfortably be located closer together than is traditional with opposing window schemes, without any risk of overlooking or overbearing. This critical feature allows for high quality residential design at a higher density while maintaining the low-rise nature of the surrounding context.

2.0 Site Assessment

2.1 Site Appraisal

- 2.1.1 Representatives of Kildare Country Council and the Design Team visited the site on 5th September 2023. Photographs, taken during that visit illustrate the character of the site and are reproduced in the following pages.
- 2.1.2 The site area is .495ha and lies approximately 300m to the north-east of Kildare town centre. It is an irregularly shaped site, forming a “V” shape bounded by the rear garden boundaries of surrounding properties. The left leg of the V is broadly oriented north-west / south-east and the right leg is oriented north north-east / south south-west.
- 2.1.3 The land falls by approximately 1.5m from a high point at its southern end to a low point at its north-eastern boundary. The site is in an overgrown condition as shown in the accompanying photographs and has been subject to illegal dumping. Evidence of incursions from adjacent properties is evident, including openings in boundary walls and structures erected within the boundary. An embankment of approximately 1m height surrounding an encroaching structure is located at the eastern boundary.

2.2 Site Access

- 2.2.1 The site has a 35m long frontage onto Station Road, containing a terrace of existing single storey cottages and associated sheds and outbuildings. There is an existing narrow gate access to the north of the existing buildings. This frontage provides the only possible access from the public road to the site for pedestrian and vehicular traffic.





aerial photo looking north



aerial photo looking west



aerial photo looking south



aerial photo looking east

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site approach from the north along Station Road



site approach from the south along Station Road

2.3 Party Walls and Boundaries

2.3.1 Station Road forms the western boundary of the site. The road originates at the junction of Bride St and Market Square. It becomes Rathbride Road at Kildare train station approximately 550m north of the site. Station Road is a regional road providing access to Kildare from the north.

2.3.2 The large garden of Kilmore House, Reg no. 11817098 on the NIAH, forms the boundary to the junction of the V shape of the site. The remainder of the site is bounded by rear gardens on Station Road, Melitta Road, Campion Crescent and Dara Park. To the south of the site on Station Road, the Sherry FitzGerald office forms the site boundary. This office has been converted from an existing cottage adjoined to the terrace present on site.

2.3.3 Boundary conditions vary across the site, comprising stone walls, blockwork walls, embankments, wire mesh fencing, timber fencing, planted boundaries and metal fencing. These boundary treatments are in varying states of repair, as illustrated on the accompanying site photos.



post and wire fence to north boundary



post and corrugated sheet fence to north-east boundary



corrugated sheet fence to north-east boundary



stone and concrete wall to north boundary adjacent site entrance



concrete wall to north-west boundary



tree and hedgerow to east boundary

2.4 Notable Features

- 2.4.1 The site contains an existing terrace of cottages and associated buildings that are derelict and in poor condition. A Refurbishment Feasibility Study has been undertaken by the Design Team to assess options for full retention, partial retention or demolition of these cottages in conjunction with a third party built heritage assessment.
- 2.4.2 The presence of an invasive plant species has been identified on site and is currently under management. The infestation of Japanese Knotweed covers approximately 466 m² as identified in "Fig. 4. Existing Site Plan". An invasive species consultant has prepared an Invasive Species Management Plan to facilitate the management of the issue. An enabling works package is envisaged to remove the infestation ahead of the main contract works.
- 2.4.3 A telecoms mast and associated utility shed are located on site. This is in the ownership of Virgin Media and demolition of same will need to be facilitated during the works. A third party contractor will be appointed by Virgin media to undertake this on their behalf.
- 2.4.4 2no. existing manholes have been identified on site. Effluent discharge is evident from one manhole. This is illustrated on the accompanying map. The design team have undertaken CCTV surveys to determine the provenance of these manholes and have developed a strategy to manage the discharge as part of the civil engineering design for the proposed scheme.
- 2.4.5 The existing site contains a number of mature trees in varying conditions. These are detailed in the arborists report.





existing telecoms mast on site



existing telecoms shed on site

2.5 Surveys and Assessments

2.5.1 Kildare County Council, assisted by the Design Team, has commissioned several surveys of the site, as listed below.

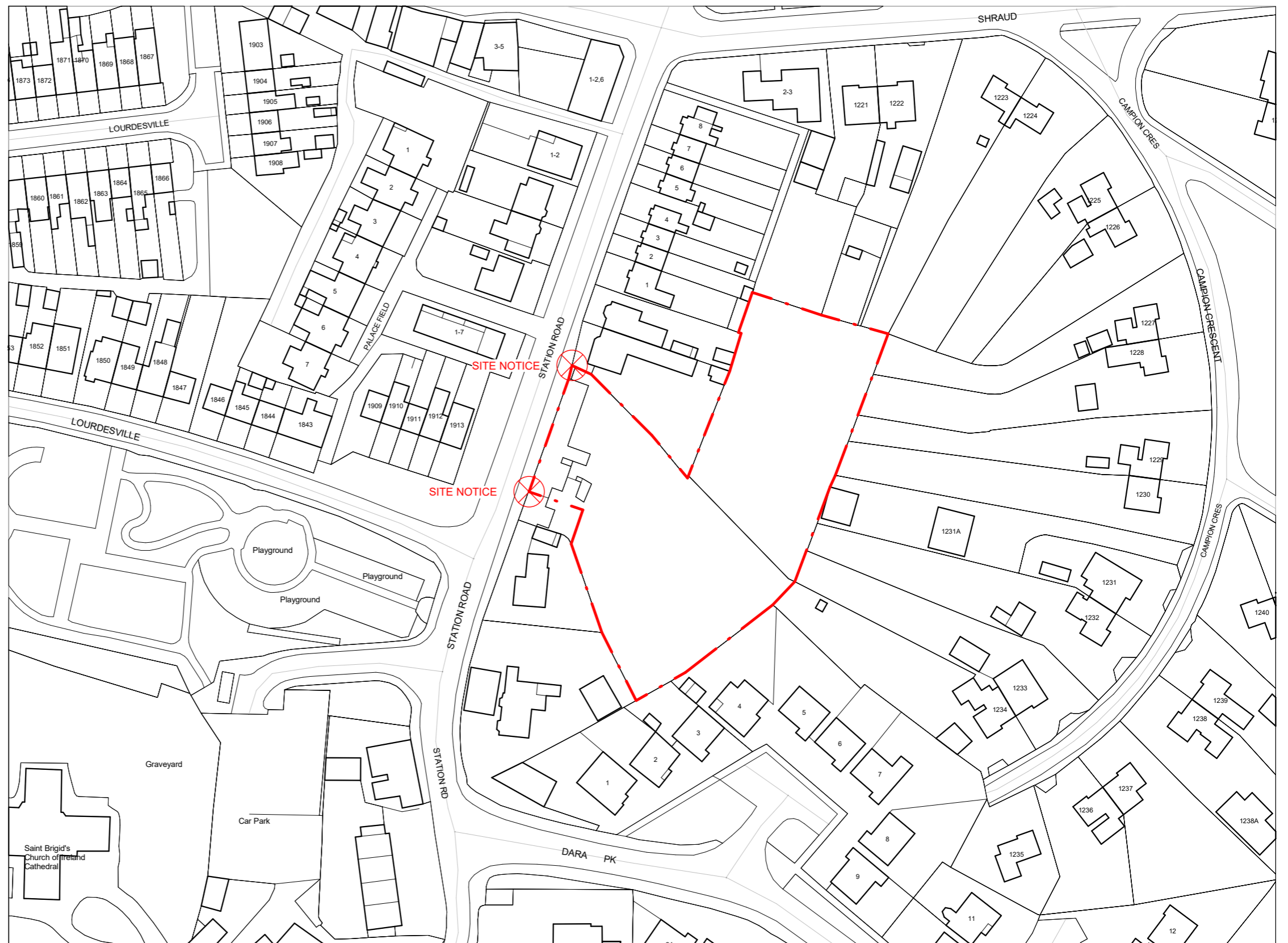
- Arboricultural Assessment
- AA Screening Report
- EIA Screening Report
- Biodiversity Statement
- Archaeological Desk Based Assessment
- Asbestos Survey
- Conservation & Built Heritage Assessment
- Measured Building Survey
- Topographical BIM Survey
- Invasive Species Survey & Management Plan

2.6 Known Existing Services

2.6.1 The design team have instructed a ground penetrating radar (GPR) survey, ground investigations and a CCTV survey to clarify existing services on site. The results are detailed within the reports accompanying this document.

2.6.2 Overhead wires connecting to buildings on site and crossing the site connecting to adjacent structures are identified on the topographic survey undertaken by Apex Surveys.

2.6.3 Services associated with the telecoms mast present on site are to be removed by a third party prior to commencement of site works.



2.7 Permeability & Connectivity

- 2.7.1 The subject site is located approximately 300m from the centre of Kildare Town on Station Road.
- 2.7.2 The site is located on Station Road, a regional road R415 connecting Kildare Town and townlands to the north east.
- 2.7.3 The site is situated approximately 550m from the Kildare train station. Public transport connections are illustrated on the accompanying pages.
- 2.7.4 The immediate context of the site is primarily 2 storey residential developments in estates or street frontage terraces. The predominant material finishes are red brick and textured or painted render. Adjacent developments range from the late 19th century to the early 21st century. Within the adjacent town centre, there is a mix of 2 and 3 storey mixed use buildings in brick and render finishes, as illustrated on the following pages.
- 2.7.5 A public park and children's playground are located 25m from the site. A number of amenity spaces are illustrated on the accompanying diagrams.



Fig. 5. Site Diagram - Context

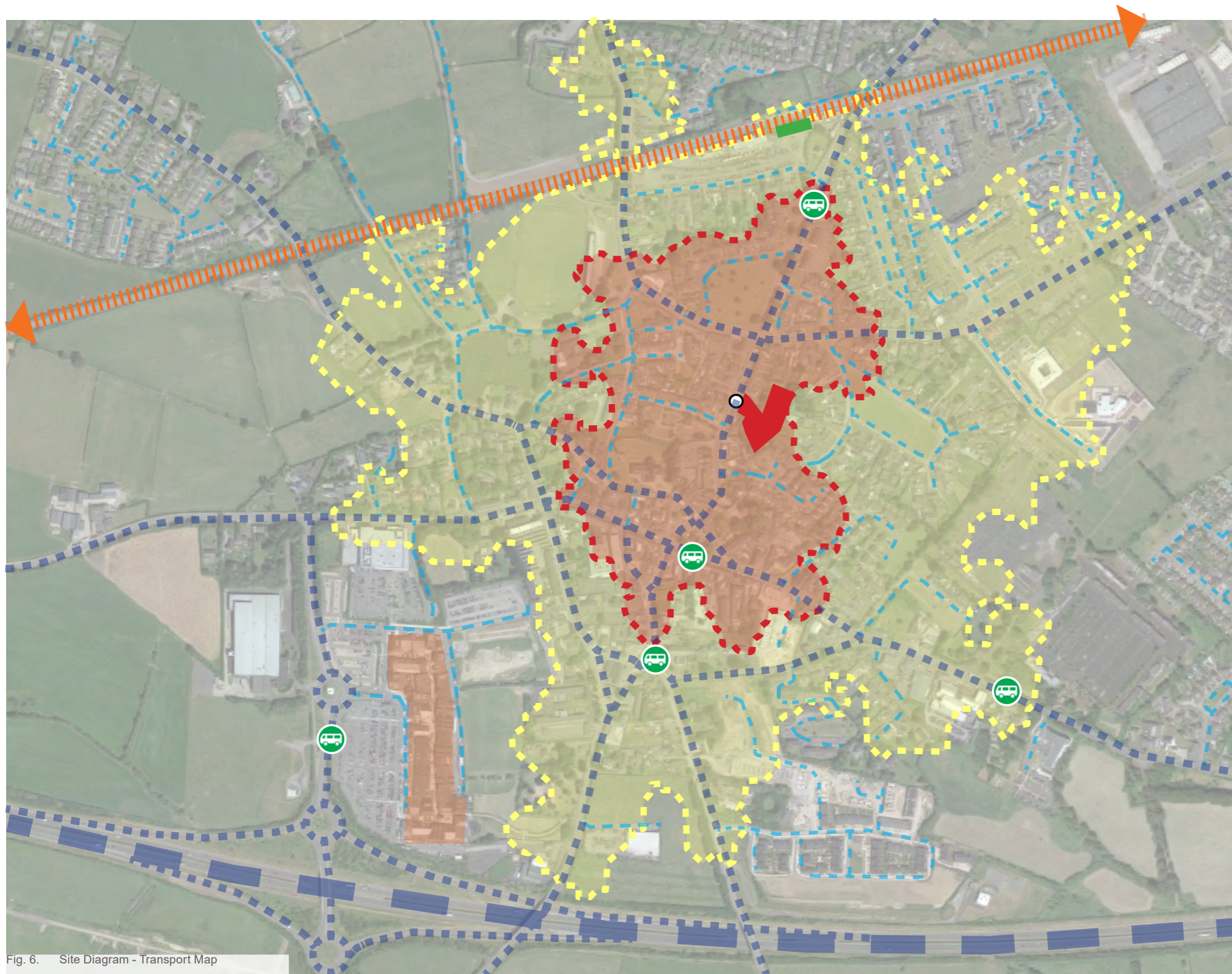










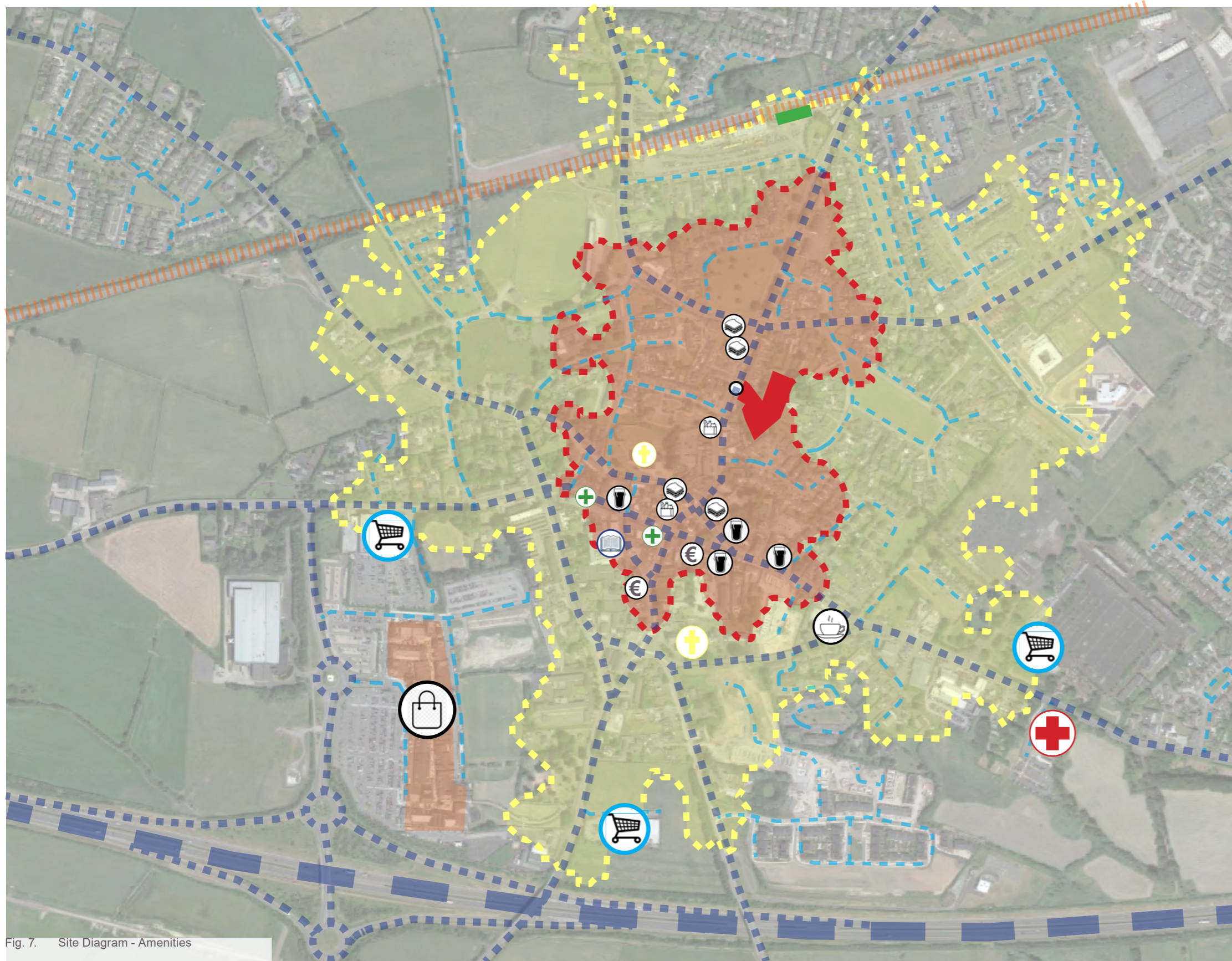


Fig. 6. Site Diagram - Transport Map

LEGEND

-  Site location
-  Train station
-  Motorway
-  Railway line
 - Regular services to Dublin, Galway, limerick, Waterford, Portlaoise
-  Bus Stop
 - Buses serving town centre; 126, 726, 883
 - Buses serving periphery & Kildare Village; 300, 735, 816, 823,
 - Private services to Kildare Village; Dublin Coach, JJ Kavanagh's, Aircoach
-  Primary circulation route
-  Local access route
-  Starting position
-  Walking distances - 5 minutes walk
-  Walking distances - 10 minutes walk

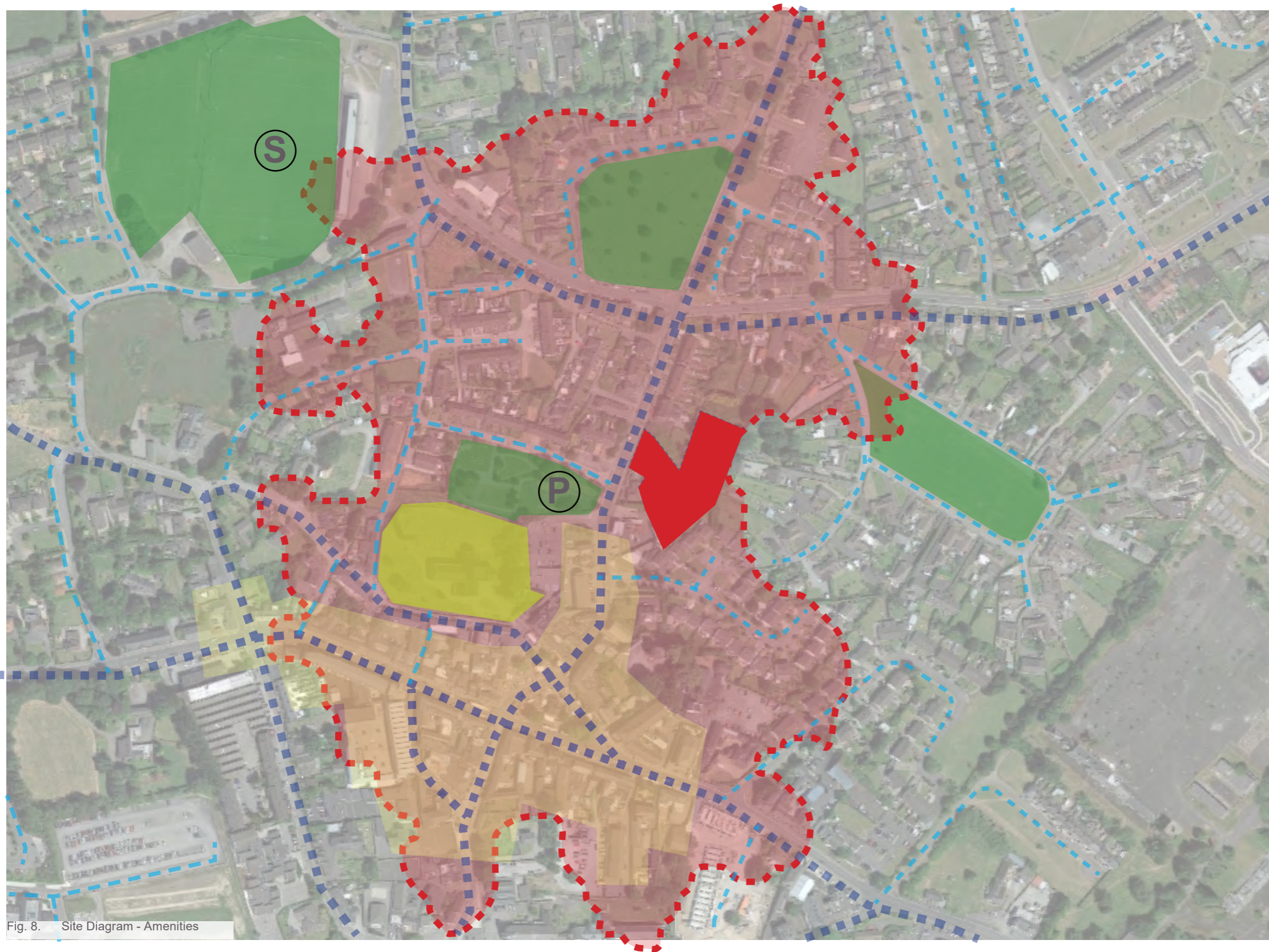
Note: Walking distances based on average speed of 80m per minute & data obtained from travelttime.com



LEGEND

-  Grocery Shop
-  Library
-  Public House / Restaurant
-  Bank / Credit Union
-  Restaurant / Cafe
-  Church
-  Medical Centre
-  Pharmacy
-  Shopping
-  Supermarket
-  Site location
-  Train station
-  Starting position
-  Walking distances
- 5 minutes walk
-  Walking distances
- 10 minutes walk

Fig. 7. Site Diagram - Amenities



LEGEND

- Site location
- - - Primary circulation route
- - - Local access route
- Town centre
- Existing public amenity - Green space
- P Existing public amenity - Playground
- S Existing public amenity - Sports facility
- Existing public amenity - Cathedral grounds

Fig. 8. Site Diagram - Amenities



market house (1817)



public realm around market house, cathedral in background



former cinema (c.1940), now public house



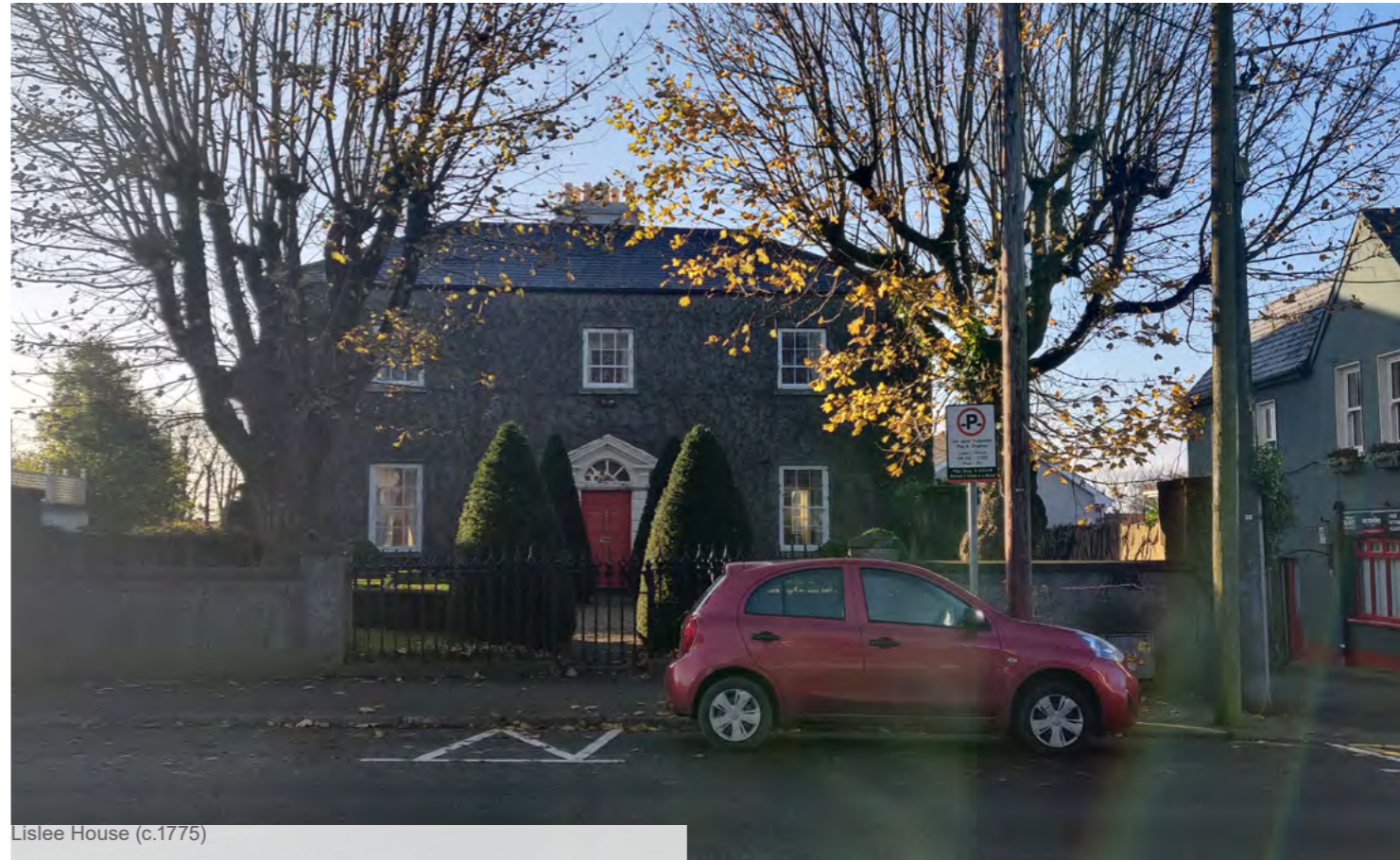
house (c.1885), now cafe and offices



Virginia Lodge (c.1800)



Bank of Ireland (1903),



Lislee House (c.1775)

Fig. 9. Local Materiality - Prominent Buildings

AN TRIANTÁN, STATION ROAD, KILDARE



shopfront, Market Square



shopfront, Claregate St



shopfront, Bride St



butchers shop, Station Road



public house and shopfront, Dublin St



public house, Claregate St



public house, Claregate St

Fig. 10. Local Materiality - Town Centre

AN TRIANTÁN, STATION ROAD, KILDARE



terraced housing, Bride St



terraced house, Station Road



terraced house, Lourdesville



bungalow on Station Road



typical detached house type, Dara Park



terraced house, Lourdesville



new housing, Oaktree Avenue (2020)



new terraced housing, Dublin St (2022)

Fig. 11. Local Materiality - Residential

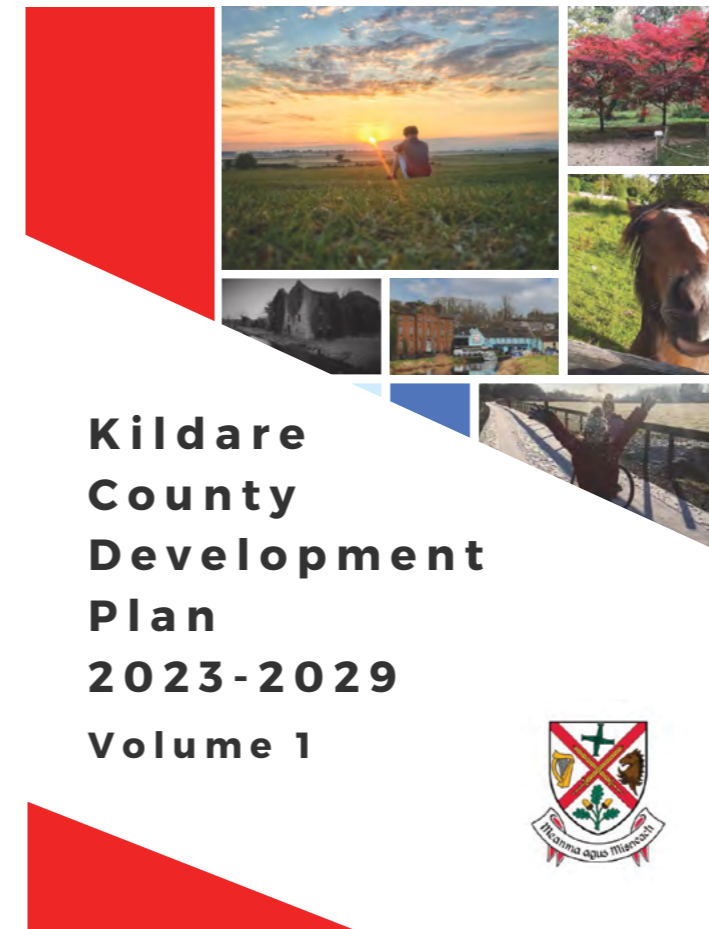
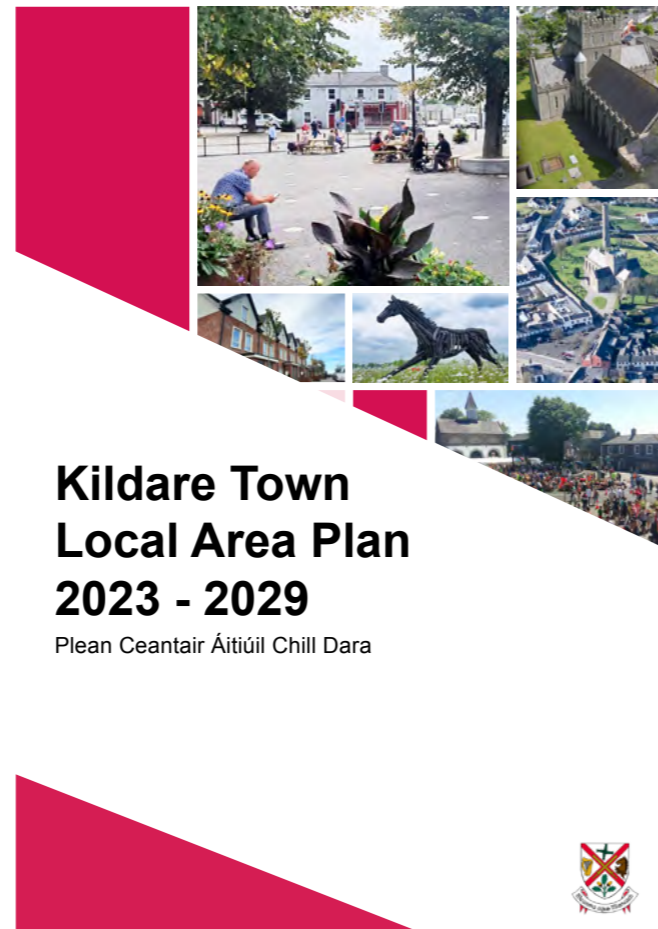
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3.0 Architectural Design Statement

3.1 Key Design Criteria

3.1.1 The key design criteria for the scheme are formed by the following documents;

- Sustainable Urban Housing: Design Standards for New Apartments, July 2023
- Design Manual for Urban Roads & Streets, April 2022
- Kildare Town Local Area Plan 2023 - 2029
- Kildare County Development Plan 2023 - 2029
- Lifetimes Home Standard, Revised Criteria, July 2010



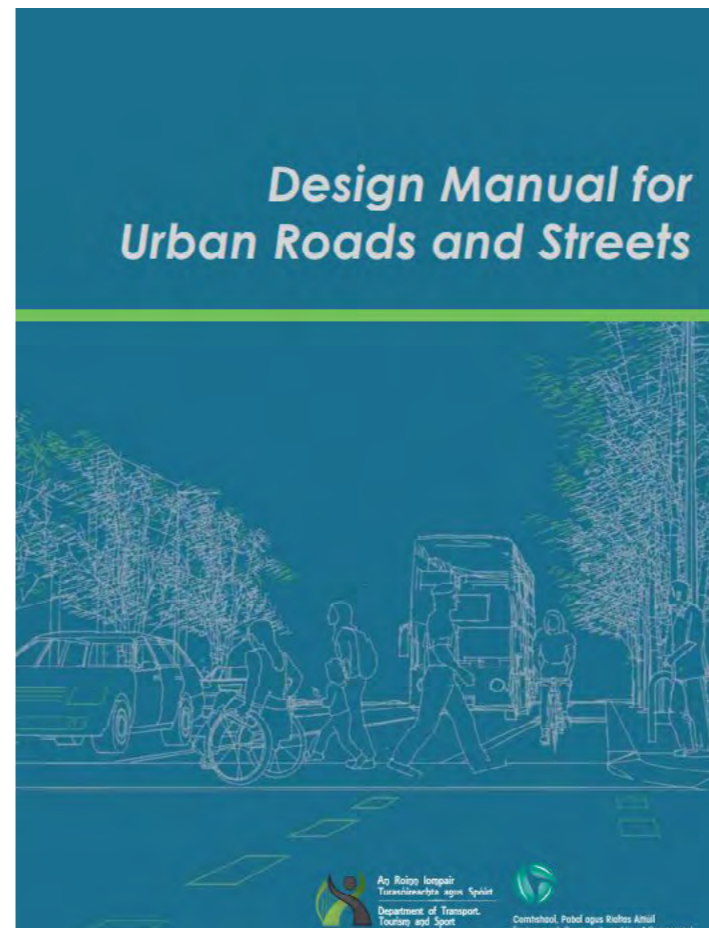
**Sustainable Urban Housing:
Design Standards for New Apartments**

Guidelines for Planning Authorities issued under
Section 28 of the Planning and Development Act,
2000 (as amended)

July 2023



Prepared by the Department of Housing, Local Government and Heritage



LIFETIME HOMES DESIGN GUIDE



bre press



The architectural design addresses the 'Urban Design Standards Checklist' listed on Table 14.2 of Chapter 14 of the Kildare County Development Plan 2023-2029 as follows:

3.2 Character

3.2.1 The context of the site is described under "2.0 Site Assessment" on page 10. The development is laid out in response to the disposition of the site and to simplify access to the site for both pedestrians and vehicular traffic.

3.2.2 The competition concept, to build a defined perimeter that draws on local historic settlement patterns and designed with reference to the primary space in the town, is extended and revised to create two spaces of clear and complementary character – an Triantán agus an Cearnóg. In its remarks on the competition scheme, the jury referred to the place-making ambitions of the proposal, noting "[...]he triangular arrangement of the scheme is appropriate in morphology and scale to Kildare town, creating a housing scheme of notable character."

3.2.3 The design response to the enlarged site proposes two distinct interlinked spaces addressing each other and the space between: the triangle bounded by housing to the south and the courtyard square by a row of housing to the north, mediated by the lower scale service buildings between. The intersection of the two elements maintains the boundary concept of the original scheme, with a break to allow vehicular access through, screening the majority of the parking from the public road and presenting a landscaped garden triangle as the primary focus when entering the site.

3.2.4 The development achieves a density of 60 dwellings per hectare, which the Planning Authority has advised is appropriate for the site in view of its proximity to Kildare Town. The landscaping has been designed to encourage biodiversity and to include sustainable drainage systems. The inclusion of edible plants / herbs is under consideration.

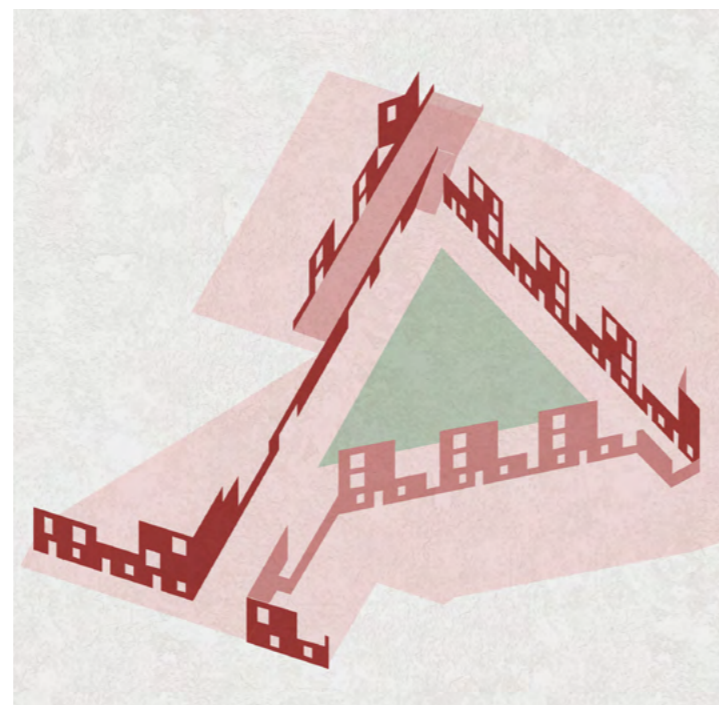


Fig. 12. Competition Concept: Public Room

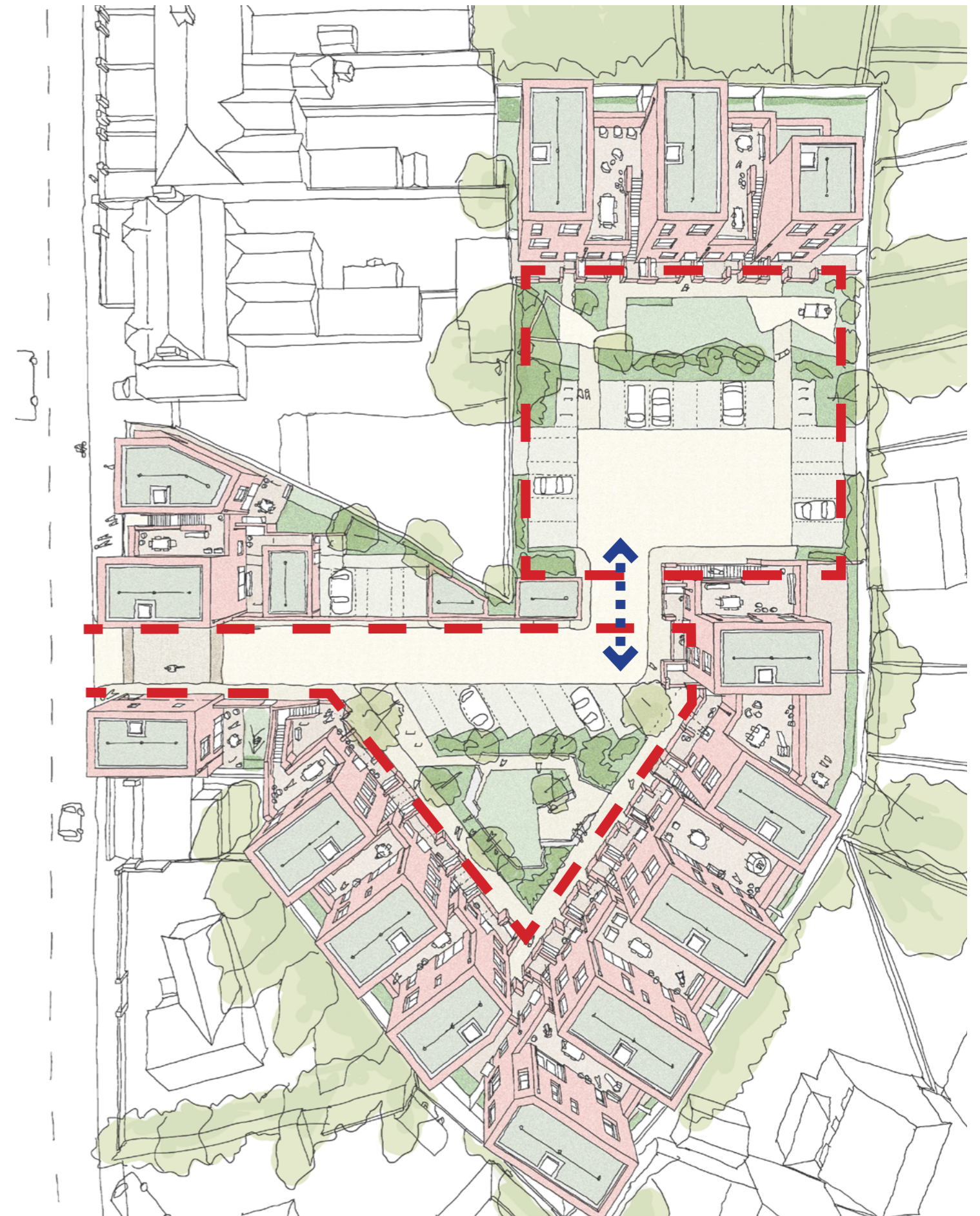


Fig. 14. Aerial view development sketch plan

3.3 Continuity and Enclosure

- 3.3.1 The development is characterized by its urban spaces and by how its housing blocks relate to them.
- 3.3.2 Along Station Road, the proposal responds to the variations in building line, respecting the historic building line adjacent to the Sherry FitzGerald office to the south and stepping back adjacent to Kilmore House to the north bridging the difference in scale and materiality.
- 3.3.3 The street facing units carefully mediate between the materiality of their context in the design of their façades. The stronger brick expression of Kilmore House is reflected in its new neighbouring house, while the house adjacent the Sherry FitzGerald office introduces a more prominent render finish to the second storey.
- 3.3.4 Within the site, the housing blocks form the perimeter of the site to the south-west, south-east, east, and north, with a new boundary enclosure built between blocks to form and define the spaces. Single storey service and ancillary buildings define the inner north boundary.
- 3.3.5 The careful choice of materiality reinforces the continuity of enclosure, enabling it to be read as a defined space. The strong perimeter is balanced by a richly planted landscape treatment.



Fig. 15. Aerial View - Height & Massing Diagram



Fig. 16. Station Road Elevation

3.4 Attractiveness

3.4.1 The typology proposed is of a low-rise, medium density scale, familiar in scale and massing to other parts of the town. All proposed units have own-door access and incorporate a defensive space buffer zone between the dwelling and the public realm.

3.4.2 The considered choice of material – brick with colour matched render – likewise is drawn from contextual cues, creating a form and language familiar to local residents in a contemporary expression.

3.5 Variety

3.5.1 The typology in use is a repetitive base form, optimised for simplicity in construction, flexibility in structural solution and capable of providing a variety of dwelling types. This format, combined with the irregular shaped site and introverted scheme layout produces a set of variations on the standard block type. These variations create a balance with the standardised blocks, building a rich and varied scheme from a common architectural language, as illustrated in the block diagrams shown here. This pattern is familiar to that found in the urban grain of settlements throughout the country, where traditional building methods are employed in bespoke manner where required by the curve of a hill or the established line of a street.

3.5.2 The unit mix is scheduled in “5.8 Housing Quality Assessment” on page 50.

3.5.3 The built typology is complemented by two public landscaped spaces, each designed with their own distinct character by Bernard Seymour Landscape Architects.

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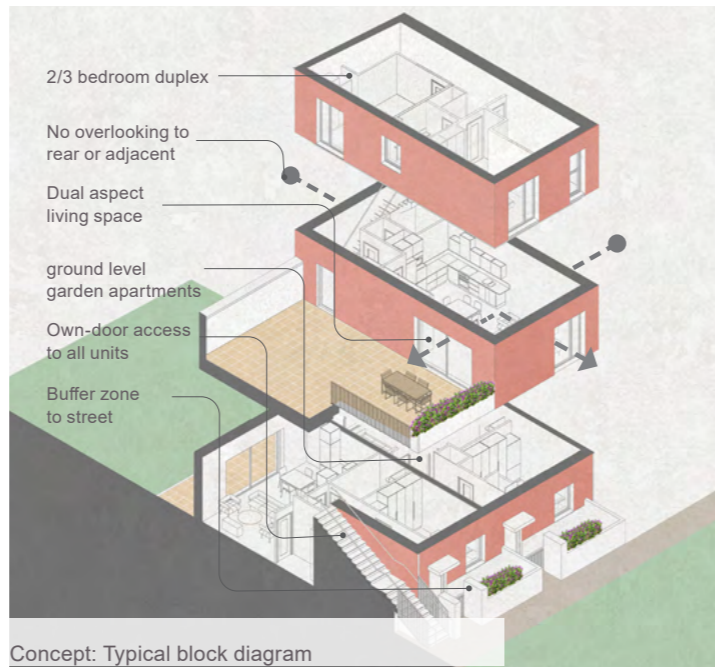


Fig. 17. Block A



Fig. 18. Block B



Fig. 19. Block C



Fig. 20. Block D

3.6 Quality of the Public Realm

- 3.6.1 The central landscape spaces in both the triangle and the square are carefully considered in relation to the housing blocks. Spaces are distinctly defined through materiality and enclosure.
- 3.6.2 Dwellings overlook the public open spaces in the development. These spaces are designed to enable a range of uses, including leisure and play. Public, semi-public, and private spaces are distinct.
- 3.6.3 The landscape design is further detailed in the Landscape Report and drawings prepared by Bernard Seymour Landscape Architects accompanying this report.
- 3.6.4 Roads and parking areas are conceived as an integrated shared surface, part of the public realm and contributing to the sustainable drainage strategy for the overall site. This strategy ensures passive surveillance of all common spaces within the site.

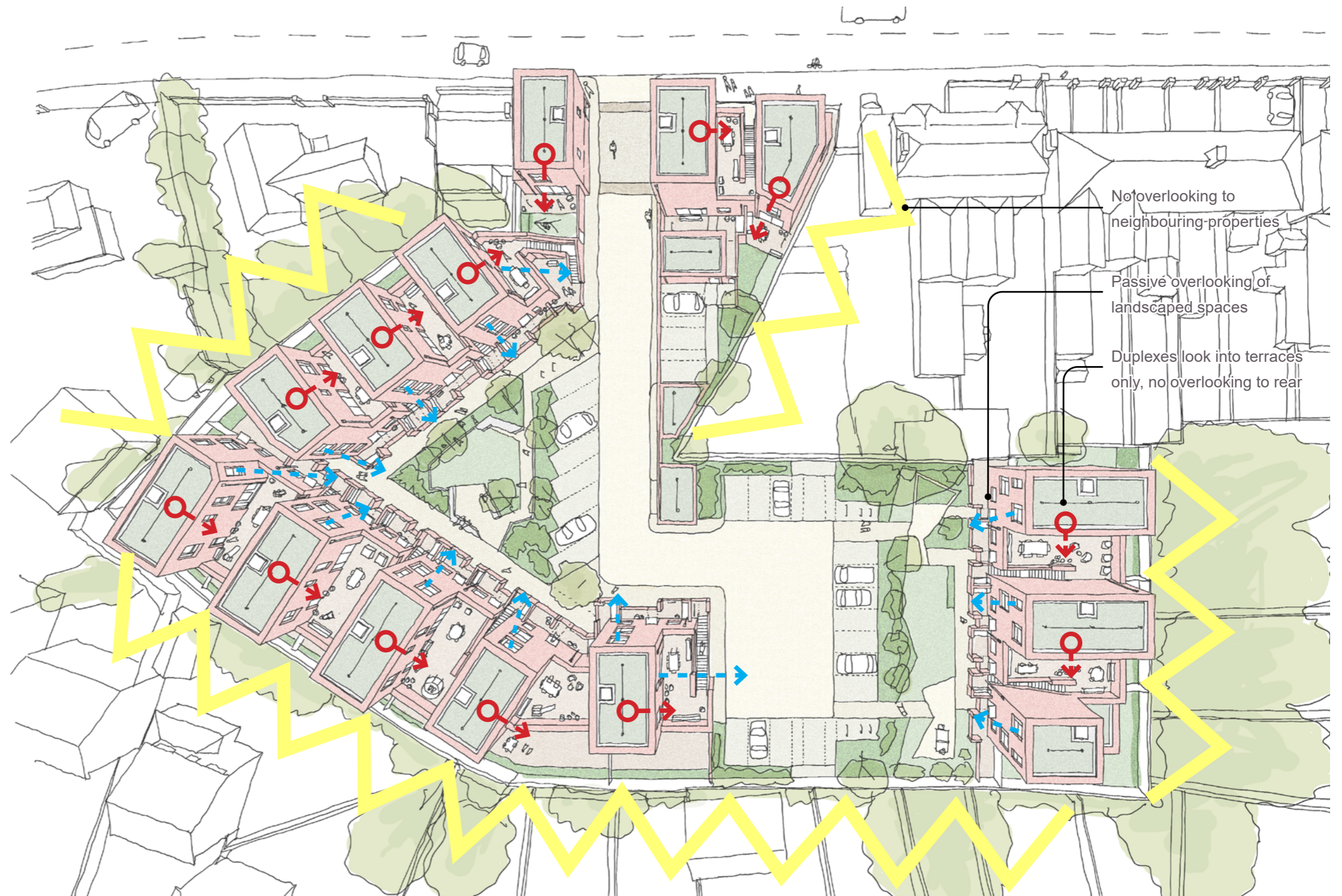


Fig. 21. Aerial View - Overlooking Diagram



Pedestrianisation of Capel St, Dublin
by Bernard Seymour Landscape Architects

Vehicle access maintained at managed times.
Flush kerb delineates vehicular space

Planter verge detail

Fig. 22. Aerial View - Shared Circulation

3.6.5 Entrances to each unit are separated from the shared public realm via a buffer “home zone”. This space creates a threshold between the public and private spaces. Each unit has its own gated home zone to maintain its privacy and to provide space to store each units bins and bikes.

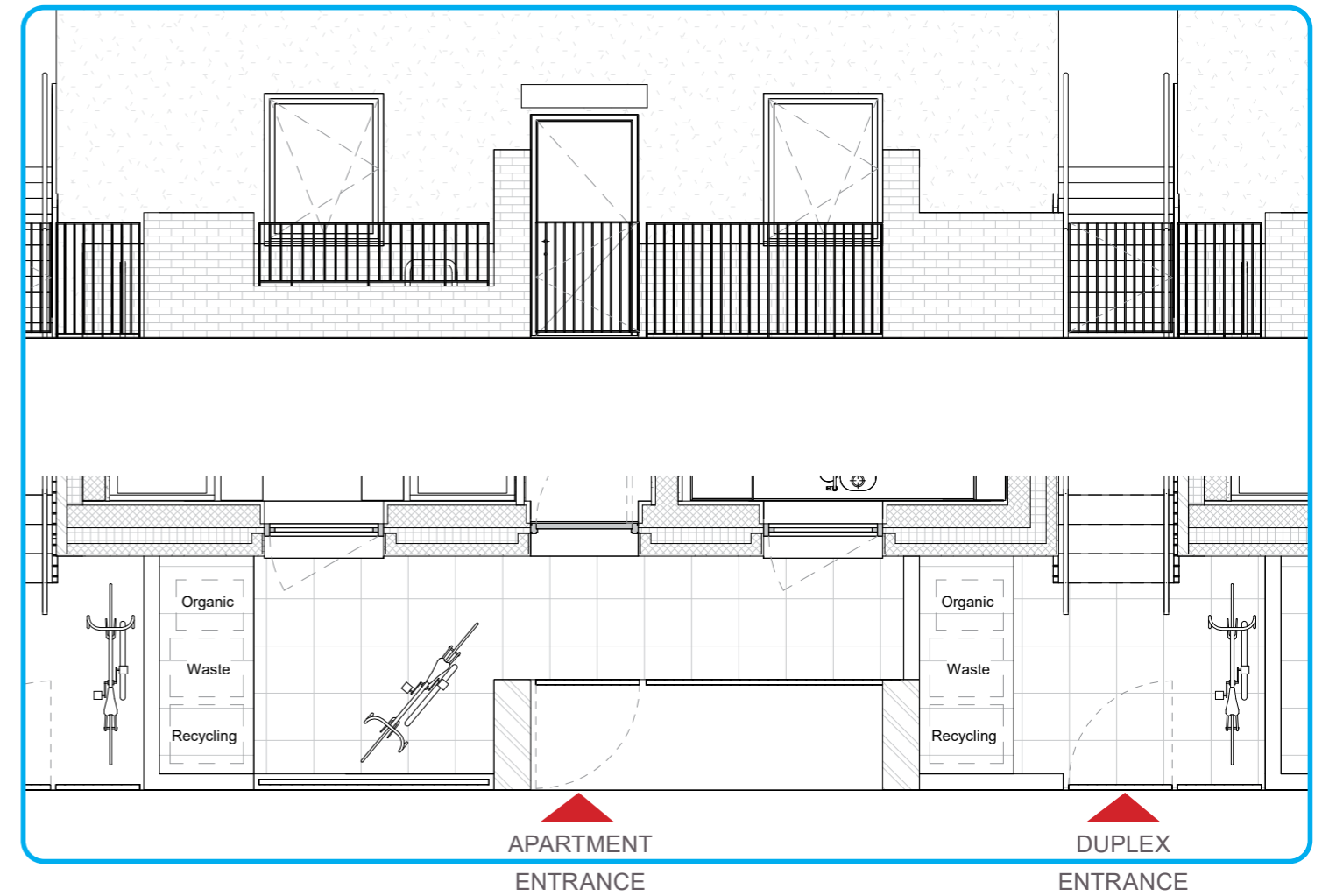


Fig. 23. Ground Level Home Zones

3.7 Making Connections - Ease of Movement

3.7.1 The town centre, 300m from the site entrance, is readily accessible by walking, supporting the Kildare County Development Plan 2023-2029 aspiration of the 10-Minute Town. The site is well connected to public transport connections and within walking distance of the Core Retail Area containing local shops, amenities and services. This is illustrated in “Fig. 6. Site Diagram - Transport Map” on page 18.

3.7.2 The Kildare Town Local Area Plan 2023 – 2029 identifies Station Road as subject to a detailed study to assess proposed cycling measures, reference CYCLE 41, as part of the Kildare Town Transport Strategy.

3.7.3 Station Road connects the site to the Kildare train station which has frequent train services to Dublin, Galway, Waterford and Portlaoise.

3.7.4 The site links to the road network via Station Road and from Kildare town centre to the M7 at Junction 13. To the north, the R415 regional road connects to the local villages of Rathbride, Milltown, Kilmeage and onwards.

3.8 Legibility

3.8.1 The development proposal aims to give priority to pedestrians and cyclists within the scheme, through use of shared surfaces, appropriate signage and visual prominence of landscape and pedestrian infrastructure. The principles of DMURS have been employed to reduce traffic speed.

3.8.2 There are three distinct locations within the site containing housing – the street frontage, the triangle and the square – each with their own character and complementary landscaping. This creates a sequence of spaces within the overall proposal, each distinctly legible.



Fig. 24. Spatial layout diagram



Fig. 25. View of Street Frontage



Fig. 26. View of Central Triangle Space



Fig. 27. View of Courtyard Space

3.9 Mix of Uses - Diversity

3.9.1 The development provides for a range of dwelling types and tenures.

3.9.2 The development is designed to comply with Technical Guidance Document M of the Building Regulations.

3.9.3 It contains a range of public and private amenity spaces, as illustrated in "Fig. 22. Aerial View - Shared Circulation" on page 29, which are clearly defined and accessible.

3.9.4 The housing unit mix proposes an increased proportion of Universal Design compliant dwellings suitable for older residents or residents with additional mobility needs. The proposed unit mix contains 17% 2 bedroom, 3 person dwellings, greater than allowed for in the development plan. Following consultation with KCC planning department, this unit mix has been accepted as appropriate given the nature of the proposed development and its proximity to the town centre.

3.9.5 The unit mix is scheduled in this table:

Site Area	0.502 ha	
1 bedroom apartment	10	33%
2 bedroom (3 person) apartment /house	5	17%
2 bedroom (4 person) apartment /house	9	30%
3 bedroom (5 person) apartment /house	6	20%
Total	30	
Universal Design compliant units	9	30%
Density (per hectare)	60 uph	
Car parking	26	
Cycle Parking (Residents)	54	
Cycle Parking (Visitors)	16	



3.10 Designing for Change - Adaptability

- 3.10.1 30% of the units have been designed to Universal Design standards, with bathrooms built for adaptability into wetrooms.
- 3.10.2 In line with the Quality Homes for Sustainable Communities recommendations, the Lifetime Homes standard has been used in designing apartment layouts.
- 3.10.3 The internal walls of all unit types will primarily be non-load-bearing to ease adaptation. The development module requires some structural walls to be included.
- 3.10.4 Plywood pattressing will be included in all bathroom walls for future installation of grab rails or mobility aids.



Fig. 28. Universal Design unit types

1. Accessible bathroom layout compliant with Universal Design Guideline spatial requirements for bathroom or wetroom arrangement
2. A soft spot containing no services / wiring has been left between main bedroom and bathroom
3. Level wetroom shower with integrated floor drain.
4. Level access entrance with gently sloped approach from public pathway.
5. L-shaped kitchen layout with a minimum 1200mm clear working space.
6. 750mm clear manoeuvring space through dwelling and to private amenity space
7. 750mm clear space around bed
8. Pattress within bathroom walls to provide fixing and support for future grab rails / mobility aids

3.11 Environmental Sustainability

3.11.1 The landscape design, including sustainable drainage system integration and biodiversity measures, is detailed in the Landscape Report and drawings prepared by Bernard Seymour Landscape Architects accompanying this report.

3.11.2 The building typology is designed for flexibility in technical detailing, allowing for a range of different construction methods to be further developed during detail design. This is intended to allow the design team flexibility in choosing lower carbon construction methods during detail design.

3.11.3 Dwelling finishes are chosen for their longevity and robustness,

3.12 Climate Adaptation and Mitigation

3.12.1 A comprehensive SuDS strategy has been developed in tandem with the landscape strategy, as detailed in the accompanying reports prepared by the Landscape Architect and Civil Engineer. The SuDS strategy proposes a mix of permeable surfaces, nature-based solutions and water management systems.

3.13 Technical Issues

3.13.1 Each dwelling has a dedicated private open space. All units enjoy a dual aspect. The dwellings will be designed to comply with Technical Guidance Document E of the Building Regulations. No dwelling is overlooked. Ground floor units are set back and screened from the street. "5.8 Housing Quality Assessment" on page 50 compares the space standards required by the brief with those achieved by the design.

3.14 Parking

3.14.1 Car parking is provided in accordance with Table 15.8 of the Kildare County Development Plan and the competition brief. All parking bays are overlooked by dwellings. Parking is provided communally.

3.14.2 20% of parking spaces are designated as EV charging and ducting is provided to the remainder for future conversion.

3.14.3 All units have secure storage for bicycles in accordance with Table 15.4 of the Kildare County Development Plan and the competition brief. Additional communal secure storage is provided for high value bicycles, cargo bikes and e-bikes. Visitor cycle parking is provided in accordance with 15.4, comprising 15% spaces for cargo / adapted cycles.

3.15 Energy Efficiency

3.15.1 All units are designed to BER A2. Low energy lighting, fixtures and fittings are proposed. The heating systems proposed are detailed in the building services report.



Fig. 29. Circulation and Parking Diagram

4.0 Design Development

4.1 Site Layout






4.1.1 The competition stage proposal for 26no. units was based on an initial site area of .375ha. The original scheme sought to create an engaging piece of contemporary sustainable housing architecture in response to the surrounding environment.

4.1.2 Following acquisition of additional site area, bringing th new site area to .503ha, and feedback from the Department of Housing, Local Government and Heritage on the winning competition entry, the proposal was revised.

4.1.3 A number of massing and layout options were assessed. The chosen layout aims to preserve the original concept of strongly defined space around a high quality landscaped central shared space with pragmatic concerns.

4.1.4 The chosen layout proposes 30no. units on the revised site.

LEGEND

-  Proposed Buildings
-  Parking
-  Green Space
-  Pedestrian Route
-  Vehicular Route



- Parking area to the rear, no passive surveillance.
- Partially shared surface
- Dual frontage units lack private amenity space



- Concept not maintained
- Insufficient parking
- Parking compromises utility of square amenity space
- Fully shared surface
- Circulation route very constrained.



- Parallel housing very close together, privacy & amenity issue
- Lack of private and shared amenity space
- Fully shared surface

Fig. 31. Layout Option Diagrams



Fig. 30. Competition Layout Diagram

- Based on smaller site area
- Undercroft parking proposed
- 26no. units



Fig. 32. Preferred Layout Option

- Concept maintained
- Fully shared surface
- Single circulation route and turning space
- Passive surveillance of all areas



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Fig. 33. Site Layout Plan

4.2 Station Road Elevation

- 4.2.1 The form and disposition of the new Station Road street elevation is directly influenced by the bay width and urban grain of the existing cottages.
- 4.2.2 The new house built directly adjacent the remaining cottage, extensively altered for use as an estate agents office, is built to the same approximate bay width of the cottage it replaces.
- 4.2.3 The new site entrance replicates the bay width of the former cottage, with a historical reading of the former building inset into the ground. This serves to indicate the position of the cottage while also indicating the transition from segregated vehicular & pedestrian traffic into the shared surface of the proposed scheme's interior.
- 4.2.4 The second street facing block is set back to align with the adjacent Kilmore House, retaining the street boundary through a buffer "homezone" space.



Fig. 34. Existing Urban Grain Overlay

- 4.2.5 The massing and form of the street facing buildings have been carefully considered in relation to their direct neighbours.
- 4.2.6 The proposed housing maintains the established street building line via a stepped alignment with the adjacent properties, while reinforcing the public street edge via a home zone buffer space.
- 4.2.7 The houses proposed along the street present a familiar 2 storey massing of a same scale as the immediate context. These step down to single storey directly adjacent their neighbours, further breaking down the massing.
- 4.2.8 The 3 storey duplex unit signifies the entrance to the scheme and mediates between the dominant contextual scale and the massing of the units within the site. At approximately 10m tall, its parapet rises 1.7m above the ridge height of the nearest existing house. The breakup of the overall massing serves to reduce the perceived impact of this increase in height, as illustrated in the views on the following page.



- 3 storey
- 2 storey
- 1 storey
- Alignment of existing buildings

Fig. 35. Building Height Comparison

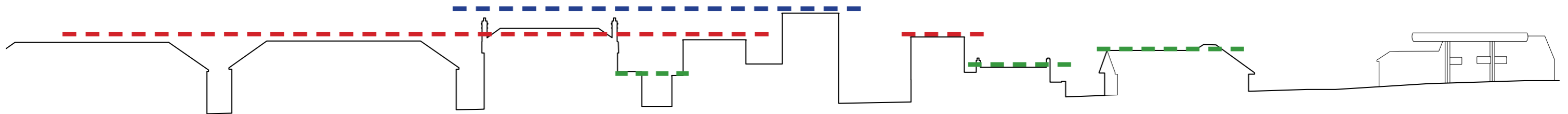


Fig. 36. Building Height Comparison Elevation



Fig. 37. View along Station Road looking south



Fig. 38. View along Station Road looking north



Fig. 39. Station Road elevation drawing

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4.2.9 The balance of massing, material finishes and fenestration of the street frontage has been developed following feedback from the pre-planning meeting. The below images represent some of the options explored.

4.2.10 The preferred option massing is more sympathetic to the surroundings, while the form and proportion of the glazing to the 2 storey buildings is reflective of the form and proportions of typical glazing seen in the local context.



Fig. 40. Massing & Fenestration Study A

- Massing is appropriately to context
- Fenestration lacks cohesive aesthetic
- Fully rendered facades to street may pose maintenance issue



Fig. 41. Massing & Fenestration Study B

- Massing is not appropriate to context.
- Massing may be over bearing on residents / passers-by
- Fenestration is consistent across elevations
- Brick plinth presents robust and high quality street frontage
- Potential visual impact on protected views

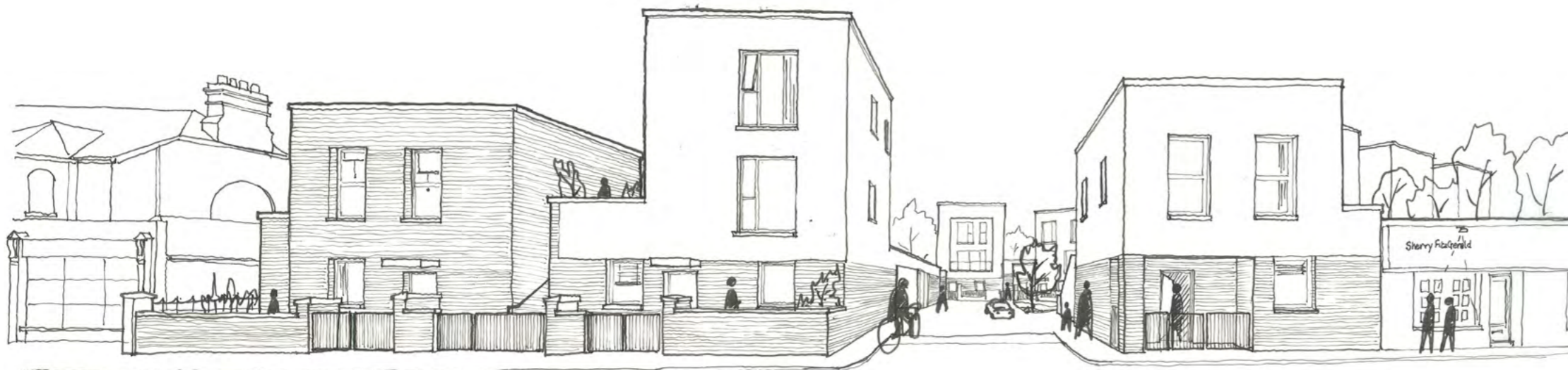


Fig. 42. Preferred Massing & Fenestration Option C

- Massing is appropriate to context.
- Fenestration proportion reflects context
- Brick plinth presents robust and high quality street frontage
- Full brick elevation adjacent to Kilmore House is sympathetic to its context.
- Taller building signifies entrance to the scheme

4.3 Material Palette

- 4.3.1 The material palette for the proposal consists of a textured render finish colour matched to a hand set brick, a combination drawn from the local context and chosen for its robust and economic character. This is accented with a colour matched mortar and PPC aluminium clad windows and steel balustrades.
- 4.3.2 The extent of brick finish is defined by multiple factors.
- 4.3.3 Low level areas up to window cill level are brick clad to prevent damage from everyday wear and tear and to prevent staining of the render from rainfall splashback.
- 4.3.4 Heavily trafficked areas - external access stairs, pedestrian circulation areas, service buildings are clad in brick to 2.5m height for robustness and longevity.
- 4.3.5 Bricks return a single brick depth at corners to protect vulnerable render junctions.
- 4.3.6 Adjacent to Kilmore house, Unit A4 has a full brick facade acknowledging its context.

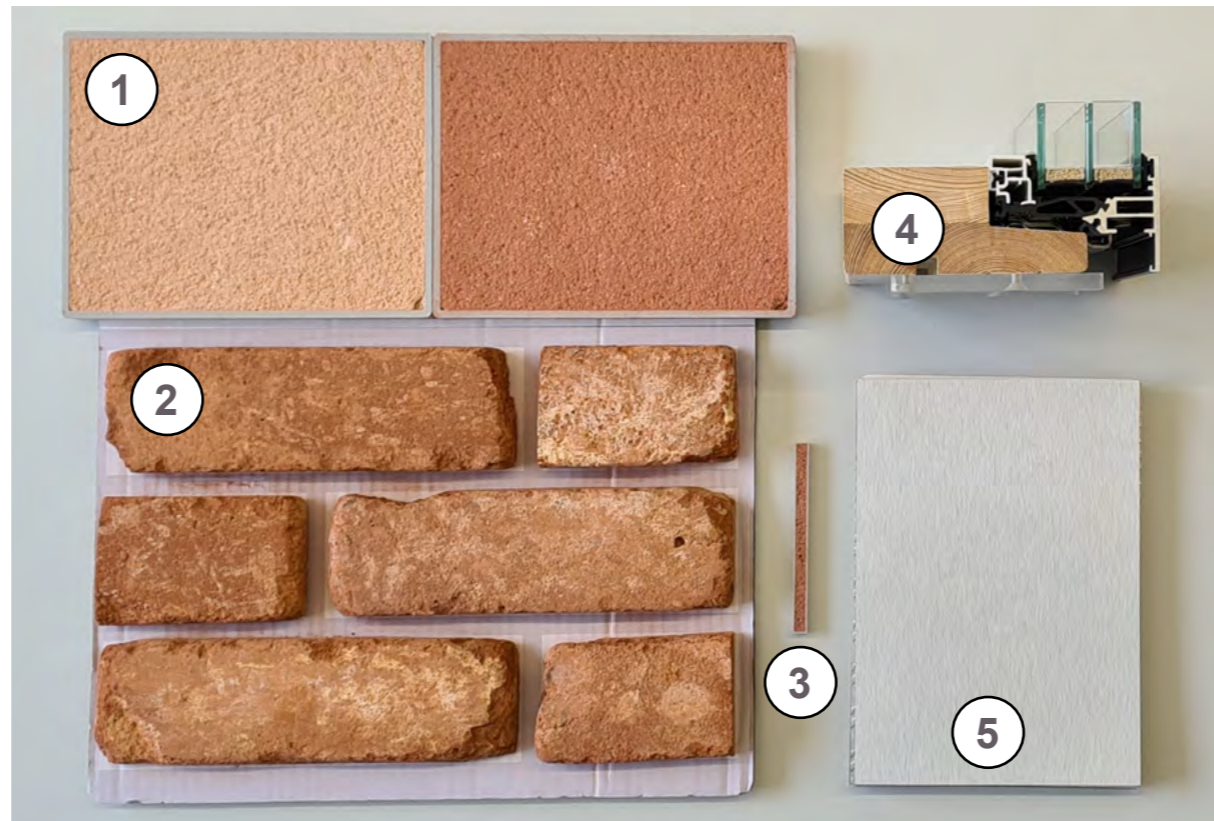


Fig. 43. Material Sample Board

Material Key

- 1. Harled/ textured finish render, colour TBC, options under consideration, subject to site sample
- 2. Brick to trafficked areas & homezone walls. Product TBC
- 3. Colour match mortar to match render finish.
- 4. Composite windows, aluminium external face. Double / triple glazing TBC
- 5. Galvanised steel / Mill finish aluminium to metalwork finishes. Option to PPC colour match to render / brick



Fig. 44. Facade Material Study

design checklist

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5.0 Planning

5.1 Applicable Planning and Design Criteria

5.1.1 The brief for this project refers to the following design guides:

- Sustainable Urban Housing: Design Standards for New Apartments, July 2023
- Kildare County Development Plan 2023-2029
- Kildare Town Local Area Plan 2023 - 2029

5.1.2 In addition, the Design Team have referred to the following relevant design guidance documents:

- Quality Housing for Sustainable Communities
- Lifetime Homes Standard, Revised Criteria, July 2010
- Design Manual for Urban Roads and Streets

5.1.3 The Design Team has tabulated the requirements of each guide and demonstrated how they have been addressed in the tables below

5.2 Local Authority Consultations

5.2.1 A pre-planning consultation was held with Kildare County Council Planning Department on 8th December 2023.

5.2.2 Further feedback was received from the Parks Service, Transport & Mobility Department and Water Services Planning via email.

5.2.3 Kildare County Council will arrange consultations with other relevant stakeholders before a planning application is lodged for the project.

5.3 Design Criteria Checklists

5.3.1 The Design Team have reviewed the applicable design criteria. It has tabulated the criteria contained in these documents that it judges relevant to this project and recorded its responses to them below.

5.4 Sustainable Urban Housing: Design Standards for New Apartments, July 2023

5.4.1 Note: Items listed in this table contain design guidance relevant to the current project. Other items contained within the guidance, either discussion, policy objectives or references to refurbishment, are omitted for clarity.

5.4.2 Apartment unit types have been condensed in this table, merging variations where divergence does not affect application of these standards.

item	requirement	action	site	houses	studio	1b2p	1b2p (UD)	2b3p (UD)	2b4p	3b5p
1	INTRODUCTION									
	Not Applicable	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
2	APARTMENTS AND STATUTORY DEVELOPMENT PLANS									
	Not Applicable	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3	APARTMENT DESIGN STANDARDS									
3.1	Apartment floor areas									
3.1.1	SPPR3: Minimum apartment floor areas	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.1.2	2-bedroom 3-person unit may be considered for social and older persons housing	SCA	Yes	n/a	n/a	n/a	n/a	Yes	n/a	n/a
3.1.3	No more than 10% of provision may be 2-bedroom 3-person housing	SCA	Yes	n/a	n/a	n/a	n/a	Yes	n/a	n/a
3.2	Safeguarding higher standards									
3.2.1	If there are 10 or more units, majority must exceed minimum area by 10% (studios to be included in total but may not add to +10% calculation)	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.2.2	Excess areas may be greater than 10%	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.2.3	If there are 10 to 99 units, excess area can be distributed across all units	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.2.4	Areas to be calculated using internal wall-to-wall dimensions; additional area in duplexes can be used for stairs and landings	No action	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.3	Dual aspect ratio									
3.3.1	SPPR 4: 33% dual aspect on urban sites; 50% dual aspect on suburban sites	No action	Yes	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.3.2	3 bedroom apartments should be dual aspect	No action	Yes	n/a	n/a	n/a	n/a	n/a	n/a	Yes
3.3.3	Single aspect units: maximise south facing; west and east facing also acceptable; north facing may be considered if overlooking significant amenity	No action	Yes	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.4	Floor-to-ceiling height									
3.4.1	Minimum floor-to-ceiling height: 2.4m. 2.7m to be considered if height is not an issue.	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.4.2	SPPR 5: Minimum floor-to-ceiling height in ground floor units: 2.7m. 3m to be considered in multi-storey buildings	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.4.3	Consider 3.5-4m in ground floor units on busy streets to facilitate future conversion to commercial use	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.5	Lift and stair cores									
3.5.1	SPPR 6: Maximum 12 units per lift core	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.6	Internal storage									
3.6.1	Provide for storage areas as per minimum standards: See area checklist	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.6.2	Storage areas provided within rooms to be in addition to minimum room areas	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.6.3	Maximum size of individual store room: 3.5 sqm; exclude airing and services cupboards from calculation	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.6.4	Provide store for bulky items on ground floor or in basement for apartment buildings; secure storage may not offset bicycle parking	No action	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.6.5	Up to 50% of storage requirement can be on ground floor or in basement; area may not be subtracted from minimum unit areas	No action	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.7	Private amenity sapce									
3.7.1	Provide gardens, patios or terraces to ground floor units and balconies to upper floor units	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.7.2	See area checklist; balconies should adjoin living spaces; winter gardens are permitted	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.7.3	Minimum depth of balconies: 1.5 m; balconies to be a single usable length	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.7.4	Comply with TGD K; Provide vertical privacy screens between balconies	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.8	Security considerations									

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item	requirement	action	site	houses	studio	1b2p	1b2p (UD)	2b3p (UD)	2b4p	3b5p
3.8.1	Maximise natural passive surveillance; overlook public realm; entrances to be clearly indicated, well lit and overlooked	No action	Yes	n/a	Yes	Yes	Yes	Yes	Yes	Yes
3.8.2	Provide 1.5 m privacy strip between public footpaths and ground floor units	SCA	Yes	n/a	Yes	Yes	Yes	Yes	Yes	
3.8.3	Consider raising ground floor units or locating duplexes at the base of an apartment building	SCA	n/a	n/a	Yes	Yes	Yes	Yes	Yes	Yes
4 COMMUNAL FACILITIES IN APARTMENTS										
4.1 Access and services										
4.1.1	Comply with TGD M	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.1.2	Avoid narrow circulation spaces; consider natural lighting and ventilation of entrance halls	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.1.3	Access service ducts from common areas; avoid service crossover between units	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.1.4	Locate communal or individual satellite dishes on roof or in less visible areas	CUN	n/a	n/a	TBD in detail design	TBD in detail design	TBD in detail design	TBD in detail design	TBD in detail design	TBD in detail design
4.2 Communal facilities										
4.2.1	Communal rooms may be provided. Some communal uses may serve non-residents	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.2.2	Establish threshold for childcare provision, 20 childcare spaces per 75 dwelling units. 1bed & studio units do not contribute to this requirement	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.3 Refuse storage										
4.3.1	Make refuse facilities accessible from each stair/lift core	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.3.2	Accommodate 3-bin system; provide separate collection facilities for other recyclables in larger schemes; screen, ventilate and light waste stores; include wash down points; allow manoeuvring space for collection vehicles	SCA	Yes	n/a	TBD in detail design	TBD in detail design	TBD in detail design	TBD in detail design	TBD in detail design	TBD in detail design
4.4 Communal amenity space										
4.4.1	Minimum area of communal amenity space: See area checklist; provide privacy strip between communal and private amenity spaces	BSLA / SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.4.2	Ensure that communal amenity space can receive sunlight	BSLA / SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.5 Childrens play										
4.5.1	25 or more units with two or more bedrooms: 85-100 sqm of play space for children under 7; 100 or more units with two or more bedrooms: 200-400 sqm of play space for older children	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.6 Bicycle parking and storage										
4.6.1	Provide dedicated and secure bicycle store, directly accessible from public road or common area; provide 1 bicycle storage space per bedroom (including studios); and 1 visitor's bicycle parking space per 2 units	SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.7 Car parking										
4.7.1	Refer to Development Plan for standards	SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
5 BUILD-TO-RENT AND SHARED ACCOMMODATION SECTORS										
	Not Applicable	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
6 APARTMENTS AND THE DEVELOPMENT MANAGEMENT PROCESS										
	Not Applicable	No action	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

ends

5.5 Kildare County Development Plan 2023 - 2029

5.5.1 The Design Team has examined the Kildare County Development Plan 2023-2029, with a particular focus on Chapter 15: Development Management Standards. It has tabulated the criteria contained in the Manual that it judges relevant to this project and recorded its responses to them below.

5.6 Kildare Town Local Area Plan 2023 - 2029

5.6.1 The Kildare Town Local Area Plan 2023 - 2029 took effect on 6th December 2023, subsequent to the conclusion of the 'Town Centre Living' competition. The Design Team have reviewed the current plan in lieu of the superseded local area plan.

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item	requirement	action	applicable	response
15.1	BACKGROUND			
15.2	GENERAL DEVELOPMENT STANDARDS			
15.2.1	Site Coverage and Plot Ratio		YES	
	Calculate Site Coverage and Plot Ratio	SCA	YES	
15.2.2	Overlooking / Separation Distances		YES	
	Where separation distances are less than 22m, demonstrate adequate privacy	SCA	YES	Separation distances comply with the Sustainable Residential Development and Compact Settlements
	Support lower separation distances with sunlight daylight analysis	SCA / CUN	YES	
15.2.3	Overshadowing		YES	
	Design to maximise sunlight / daylight; refer to BR209.	SCA / CUN	YES	
15.2.4	Soft Landscaping		YES	
	Incorporate planting into new developments; Refer to Table 15.1 for appropriate native species	SCA / BSLA	YES	Refer to landscape design drawings
	Retention of trees is favourable; replanting schedule required where this is not feasible	BSLA	YES	Refer to landscape design drawings
	Nature based drainage systems to be included in landscape designs; permeable surfaces, green roofs and tree pits are encouraged	CUN / BSLA	YES	The design team has prioritised nature based solutions and permeable surfaces to deal with surface water, reduce attenuation requirements and promote biodiversity.
15.2.5	Hard Landscaping		YES	
	Propose durable, good quality materials, demonstrate surface water controls	CUN	YES	
	Consider permeable surfaces and nature based solutions to assist drainage strategy	CUN / BSLA	YES	The design team has prioritised nature based solutions and permeable surfaces to deal with surface water, reduce attenuation requirements and promote biodiversity. Refer to civil engineering design documentation.
	Integrate street furniture, art, walls and fences into design	SCA/ BSLA / CUN	YES	These are integrated with the architectural layout to protect the visual amenity of the proposed development
15.2.6	Access to Land		NO	n/a
15.2.7	Universal Access / Design		YES	
	Design for accessibility in compliance with TGD M	SCA	YES	The proposed development complies with TGD M and a DAC application will be processed after planning stage. Units designed to Universal Design standard are identified on the Architectural Layouts
15.3	DESIGN STATEMENTS		YES	
	For developments of 10 or more units, prepare a design statement for planning	SCA	YES	

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	The following details should be included in a design statement: • A clear explanation of the design process including options considered. • A demonstration of how the development adheres to the relevant provisions of the County Development Plan, including explicit reference to the Urban Design Standards Checklist, as outlined in Table 14.2. • Any relevant Local Area Plan, Masterplan, or other placemaking strategy affecting the site. • Where relevant, the design statement should demonstrate how the development adheres to the guidance and principles set out in the 'Urban Design Manual' (DoEHLG, 2009), particularly to show where and how the 12 Criteria (as per the 'Urban Design Manual – A Best Practice Guide') have each been considered. • A site and area appraisal including photographs of the site and its surroundings accompanied by illustrations such as photomontages, perspectives, and sketches, along with summaries of relevant studies and details of any recent consultations. • In urban areas, a demonstration of how the development responds to the established urban structure, movement and accessibility, land uses, density, urban grain, visual context and built form. • A demonstration of how existing and new green infrastructure features will be integrated into the scheme. • Detailed proposals for open space illustrating how the provision of such areas have been designed in from the beginning. • A comprehensive high quality open space and landscape design plan including specifications, prepared by suitably qualified professionals. • A statement setting out how energy efficiency and other climate mitigation measures have been incorporated into the proposed development.	SCA	YES	
15.4	RESIDENTIAL DEVELOPMENT		YES	
15.4.1	Development Capacity		YES	
	For developments of more than 20 units, undertake a Social Infrastructure Audit to assess capacity in childcare, education, health, community, sport, open space, and recreational facilities within a 15 minute walk.	SCA / KCC	YES	SIA included within Kildare Town Local Area Plan 2023 - 2029
15.4.2	Development Phasing		NO	No phasing is proposed
15.4.3	Residential Density		YES	
	Refer to Table 3.1 and Local Area Plans for density guidance	SCA	YES	Local Area Plan indicates 35-40uph, pre-planning consultation indicates 60uph is deemed acceptable
15.4.4	Housing Mix		YES	
	Provide a Statement of Housing Mix in accordance with Objective HO O15	SCA	YES	
15.4.5	Design, Layout and Boundary Treatments		YES	
	Monumental, overbearing or gated entrances are not permitted	SCA	YES	Not proposed
	Minimum 33% / 50% dual aspect apartment units		YES	Proposed design is in compliance
	Site layout plans to identify bin stores, bicycle parking and EV charging	SCA	YES	Refer to site plan
	Adequate bin storage required; 3 bin system in screened shelter. Details to be shown at planning stage	SCA	YES	Proposed design is in compliance
	Townhouses to allow for rear access, parking, utility / store room adjacent to entrance.	SCA	YES	Proposed design is in compliance
	Private open space boundary treatments should be 1.8m - 2m rendered block wall; alternatives to be considered by LA	SCA	YES	Proposed design is in compliance
	Windows in gables will only be acceptable if opaque unless overlooking is not an issue	SCA	YES	Proposed design is in compliance

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	Storage rooms must be less than 3.5sqm, accessed via hallway, not contain MEP equipment, additional to kitchen and bedroom furniture; attic spaces must be floored and accessible to count.	SCA	YES	Proposed design is in compliance
15.4.6	House Design		YES	
	Housing areas to comply with Table 15.2		YES	Proposed design is in compliance
15.4.7	Apartment Developments			
	Refer to Sustainable Urban Housing: Design Standards for New Apartments (2022)		YES	Refer to Design Checklist: Sustainable Urban Housing: Design Standards for New Apartments (2022)
15.4.8	Build-to-Rent		NO	n/a
15.4.9	Shared Accommodation / Co-Living Developments		NO	n/a
15.4.10	Management Companies for Apartments		NO	Development is proposed on behalf of the Local Authority
15.4.11	Purpose Built Student Accommodation		NO	n/a
15.4.12	Extensions to Dwellings		NO	n/a
15.4.13	Domestic Garage/ Store/ Home-Work Pod / Garden Room		NO	n/a
15.4.14	Family Flat		NO	n/a
15.4.15	Naming of Residential Developments		YES	
	Propose three potential development names, in Irish and in English, citing the rationale for the choice		YES	
15.4.16	Taking in Charge of Residential Developments		YES	Development is proposed on behalf of the Local Authority
15.5	SOCIAL AND COMMUNITY DEVELOPMENTS			
15.5.1	Social Infrastructure Audit		YES	
	For developments of more than 20 units, undertake a Social Infrastructure Audit to assess capacity in childcare, education, health, community, sport, open space, and recreational facilities within a 15 minute walk.		YES	SIA included within Kildare Town Local Area Plan 2023 - 2029
15.5.2	Childcare Facilities		NO	n/a
15.5.3	Educational Facilities		NO	n/a
15.5.4	Health Facilities & Veterinary Clinic		NO	n/a
15.5.5	Community Buildings		NO	n/a
15.6	OPEN SPACE			
15.6.1	Active Open Spaces		YES	
	Preference for access to active spaces within 10 minute walk for new residential developments		YES	
15.6.2	Neighbourhood / Local Parks		NO	n/a
15.6.3	Amenity Green Spaces		YES	
	Refer to 15.6.6		YES	
15.6.4	Natural / Semi-Natural Green Space and Green Corridors		NO	n/a
15.6.5	Formal / Informal Play Spaces		YES	
	Formal play spaces should be located within 400m of residential areas		YES	
	Locate play features centrally to promote accessibility and passive supervision		YES	
15.6.6	Public Open Space for Residential Development		YES	

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	A landscape architect is to prepare a landscape plan		YES	Refer to landscape design drawings
	Brownfield sites should provide minimum 10% public open space, including 4% for biodiversity		YES	Refer to landscape design drawings
	SuDS are not acceptable within public open space greater than 10% of area		YES	Proposed design is in compliance
	Natural features are required to promote children's play, incorporated into landscape plan		YES	Refer to landscape design drawings
	Passive surveillance should be maximised		YES	
15.6.7	Private Open Spaces – Gardens, Terraces, Balconies		YES	
	Provide private open space to the rear of all houses in compliance with Table 15.2; omit the area of incidental narrow side spaces; allow defensible space to street frontage;		YES	Proposed design is in compliance
	Balconies and terraces should be accessible from the primary living space		YES	Proposed design is in compliance
15.7	TRANSPORT			
15.7.1	Walking and Cycling		YES	
	New development areas to be fully permeable for walking and cycling.		YES	Proposed design is in compliance
15.7.2	Cycle Parking		YES	
	Provide cycle parking in accordance with Table 15.4; designed in accordance with the National Cycle Manual	SCA	YES	Proposed design is in compliance
	Visitor cycle stands should be conveniently located	SCA	YES	Proposed design is in compliance
15.7.3	Public Transport		YES	
	Maximise permeability and connectivity to public transport in accordance with DMURS	CUN / SCA	YES	
15.7.4	Road and Street Network		YES	
	Refer to DMURS	CUN / SCA	YES	
	For developments of more than 200 residential dwellings, prepare a Traffic and Transport Assessment		NO	Proposed development does not meet threshold
15.7.5	Stopping Distances and Sightlines		YES	
	Council to assess sight lines on case-by-case basis	KCC	YES	
	Indicate sight lines to proposed access point	SCA / CUN	YES	Refer to site plan
15.7.6	Access Requirements		YES	
	Creation of additional access points is not favoured	SCA	YES	Proposed site access is relocated, no additional access points proposed
15.7.7	Building Lines		NO	n/a
15.7.8	Car Parking		YES	
	Maximum parking to comply with Table 15.8; lower rates of parking should be considered first with regard to context		YES	Parking ratio is proposed as lesser than the maximum at a ratio of 0.86:1
	Prepare a Mobility Management Plan for developments with substantial parking requirements		NO	Parking requirements are not considered substantial
	Prioritise safe movement of pedestrians and cyclists		YES	
	Provide EV charging in line with TM O117 - 20%		YES	Proposed design is in compliance
	Locate parking at basement or undercroft; alternatively locate parking in areas of passive surveillance		YES	Proposed design is in compliance
	Provide 10% minimum visitor parking spaces in new residential developments		YES	Proposed design is in compliance
15.7.9	Street Lighting and Public Utilities		YES	
	Comply with the standards in the Kildare County Council document 'Street Lighting Technical Specification' and Section 5.12 of KCDP		YES	
	Provide adequate lighting for cyclists, pedestrians and minority groups; create a safe environment; avoid dark alleys	CUN	YES	Proposed design is in compliance
	Lighting strategy must minimise impacts on biodiversity, in particular bats.	CUN / BSLA	YES	To be developed during detailed design
	Public lighting layout to be shown coordinated with landscape and planting layout	CUN / BSLA	YES	To be developed during detailed design

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	Service buildings, transformers, pump stations etc to be unobtrusively sited to protect visual amenity	SCA / CUN	YES	These are integrated with the architectural layout to protect the visual amenity of the proposed development
	Utility boxes to be integrated with design	SCA	YES	To be developed during detailed design
15.8	SURFACE WATER		YES	
	Consider nature based surface water management solutions. These should be prioritised. Detailed explanation is required if this is not feasible.	CUN / BSLA	YES	The design team has prioritised nature based solutions and permeable surfaces to deal with surface water, reduce attenuation requirements and promote biodiversity.
	Groundwater monitoring, if needed, to last minimum 6 months and 1 winter	CUN	YES	
	Prepare a Surface Water Management Plan, in compliance with the Greater Dublin Drainage Strategy (GDSDS), in particular Volume 2 Chapter 6 Stormwater Drainage Design Criteria, and CIRIA SuDS Manual (C753) and with Nature-Based Solutions to the Management of Rainwater and Surface Water Runoff in Urban Areas Best Practice Interim Guidance Document (2021, DHLGH).	CUN	YES	This forms part of the Engineering Services Report
	SuDS to be <10% of public open space	CUN / BSLA	YES	
	Underground attenuation tanks are not permitted under public open space	CUN	YES	
15.9	EMPLOYMENT INCLUDING EXTRACTIVE INDUSTRY AND AGRICULTURAL BUILDINGS		NO	n/a
15.10	WASTE DISPOSAL AND RECOVERY			
15.10.1	Waste Recovery / Disposal Facilities		NO	n/a
15.10.2	Construction and Demolition Waste		YES	
	Prepare a Construction & Demolition Waste Management Plan	SCA	YES	A Construction & Demolition Waste Management Plan has been prepared by Tobin
15.10.3	Bring Banks and Recycling Facilities		NO	n/a
15.11	ENERGY AND COMMUNICATIONS			
15.11.1	Wind Energy Proposals		NO	n/a
15.11.2	Solar Energy Proposals		NO	n/a
15.11.3	Applications Proximate to Overhead Lines		YES	
	Liaise with ESB	CUN	YES	
15.11.4	Telecommunications and Supporting Infrastructure		NO	n/a
15.12	SEVESO SITES		NO	n/a
15.13	RETAIL DEVELOPMENT		NO	n/a
15.14	SHOPFRONTS		NO	n/a
15.15	ADVERTISING SIGNAGE		NO	n/a
15.16	OUTDOOR DINING		NO	n/a
15.17	BUILT AND NATURAL HERITAGE			
15.17.1	Protected Structures		NO	n/a
15.17.2	Development in Architectural Conservation Areas		NO	n/a
15.17.3	Development in Zones of Archaeological Potential		YES	
	Refer to Chapter 11 of KCDP and Framework and Principles for the Protection of Archaeological Heritage, DAHG (1999)	SCA	YES	
	Procure an Archaeological Impact Assessment and Method Statement prepared by a suitably qualified archaeologist	SCA	YES	An Archaeological Desk-Based Assessment has been prepared by Archaeological Consultancy Services Unit. A further site survey will be instructed when the site has been cleared.

5.7 Quality Housing for Sustainable Communities

5.7.1 The Quality Homes for Sustainable Communities is not listed as a brief requirement, however the Design Team have referred to it as a good practice guide.

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item	requirement	action	site	houses	studio	1b2p	1b2p (UD)	2b3p (UD)	2b4p	3b5p
1	SITE SELECTION									
	Not Applicable		n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
2	DESIGN BRIEF, PROCUREMENT AND COST CONTROL									
	Not Applicable		n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3	URBAN DESIGN OBJECTIVES									
3.1	Urban Design									
3.2	Designing in Context									
	Assess characteristics of neighbourhood	SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Make full use of natural features	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Integrate development with surrounding built environment	SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.3	The urban framework									
3.3.1	Movement framework									
3.3.2	Diversity and mixing uses									
	Coveniently sited close to local amenities and services		Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Mixed tenure in housing types	SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.3.3	Hierarchy of spatial development									
3.3.4	Density									
3.3.5	Public open space and landscape design									
	A variety of types of open space	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.4	Detailing the place									
	Making open space	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Creating edges	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Building size and scale	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Enhancing the public realm	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Making safe spaces	SCA / BSLA								
3.5	Implementation									
	Site selection & brief	KCC	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	High quality professional design team	KCC	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Project management processes	KCC	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Commitment to quality	KCC	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
3.6	Dwellings in rural locations									
	Not applicable		n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4	SCHEME LAYOUT AND DESIGN									
4.1	Local area plans									
	Examine local area plan: Kildare Town LAP 2023 - 2029		Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
4.2	Design approach									
	Create pleasant, safe and secure living environment that provides sense of identity and place and fosters development of community	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Integrate new housing into existing natural and built environment	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Create high quality living environment	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Discourage anti-social behaviour through overlooking of access ways and public areas by dwellings	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Use orientation, topography and surrounding features to control wind effects while optimising sunlight, daylight and solar gain	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Eliminate barriers to accessibility	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Eliminate small, poorly-defined or poorly-integrated areas of public space	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Promote enclosure, clear separation of public and private realm and good permeability	SCA / BSLA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
	Building sustainable communities									
	Diversity and mixed use									
	Dwelling types									
	Mix of dwellings									
	Densities									
	Private space									

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5.4	Sustainability and energy efficiency									
5.4.1	Sustainable energy									
	Optimise energy performance, use renewal materials; maintain indoor air quality; minimise waste; design for adaptability; source materials locally; use DEAP to calculate BER	CUN / SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.4.2	Daylighting and solar gain									
	Face living rooms south or west and bedrooms south or east, with living rooms within 90 degrees and other habitable rooms within 30 degrees of due south; exploit solar gain through thermal mass	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.4.3	Thermal insulation									
	Comply with TGD L	CUN / SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.4.4	Fuel and heating									
	Select fuel to minimise environmental impact	CUN	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.4.5	Construction materials									
	Select materials that limit construction waste, have low emissivity and are low maintenance	All	Yes	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.4.6	Water									
	Select water saving fittings; consider rainwater harvesting	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.4.7	Waste									
	Minimise construction waste and consider recycling it; consider Waste Management Plan; provide refuse stores with separate recycling	All	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
5.5	Access and circulation									
5.5.1	Access									
	Design common areas to facilitate movement furniture, bicycles and stretchers; comply with TGD M	SCA	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a
5.5.2	Circulation									
	Open main rooms, including bathroom but not dining space, off circulation area; locate dining space next to kitchen; open kitchen off living space in smaller units; link kitchen to entrance and garden, if provided; locate living room at ground level; avoid steps on circulation routes; allow bed space at entry level; design stairs to accept stair lift; consider allowing for future 'through-the-floor' lift; refer to Lifetime Homes	SCA	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.6	Safety and security in the home									
5.6.1	General									
	Comply with TGD B, J and K	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.6.2	Security: Prevention of unauthorised entry									
	Prevent access from public open space to back gardens; employ secure building forms, such as terraces; provide full-height gates to side accesses; avoid shared passages or secure them; overlook public open space; locate downpipes and low roofs away from upper floor windows; make bedroom windows easy to open from inside; fit 3-point locks to external doors; locate letterboxes to comply with TGD D	SCA	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.6.3	Safety: Fire									
	Comply with TGD B and J	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.6.4	Safety: Pedestrian movement and circulation									
	Provide non-slip flooring to wet areas; light stairs and corridors; locate light fittings and fire alarms away from voids to make maintenance safe; avoid steps on routes to clothes lines and external stores; comply with TGD K	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.6.5	Safety: Windows and glazing									
	Ensure that stairs and bathroom windows accessible for cleaning; make windows above first floor cleanable from inside; fit restrictors; comply with TGD B and K	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.6.6	Safety: Kitchen									

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	Avoid clash between circulation routes and working area; locate cooker away from circulation routes and windows; provide worktop to sides of cooker; avoid locating cupboards over cookers; provide clear opening space for storage unit doors	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.6.7	Safety: Electricity, heating and gas services									
	Install building services in accordance with regulations		n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.7	Kitchen facilities and layout									
5.7.1	Kitchen facilities and equipment									
	Allow for cooker, sink with drainer, dishwasher and full-height fridge/freezer; consider locating washing machine, dryer and dishwasher in utility room	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.7.2	Kitchen storage									
	Comply with Table 5.2: Minimum kitchen storage standards	SCA	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.7.3	Work surfaces									
	Follow worktop-cooker-worktop-sink-worktop sequence in layout; make worktop minimum 600 mm deep and not less than 300 mm wide	SCA	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.7.4	Layout: General considerations									
	Prefer direct route to front door; draught-proof external doors; locate cooker as 5.6.6 above; locate sink under window; provide minimum distance of 1500 mm between units and opposing walls; allow space for small table if not adjacent to dining area; prefer natural ventilation and lighting; overlook children's play area, either in rear garden or adjacent room	SCA	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8	Sanitary facilities and bathroom provision									
5.8.1	Sanitary appliances									
	Comply with TGD G and M	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.8.2	Bathroom									
	Provide slip-resistant bath with shower head, grab rails and screen; tile around bath and wash basin; allow for future adaptability	SCA	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.3	Bathroom ventilation									
	Avoid locating window over bath, if provided; comply with TGD F	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.8.4	Sanitary pipework									
	Comply with TGD G and H	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.8.5	Standardisation									
	Consider standardising plumbing and bathroom pods	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.8.6	Access ducts									
	Locate ducts for easy maintenance access, avoiding fittings and furniture	CUN / SCA	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.7	Heating									
5.8.7.1	Space heating: Design approach									
	Comply with Table 5.3: Room or space temperatures	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.7.2	Heating system and fuel choice									
	Building Services Engineer to design	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.7.3	Heating system design									
	Building Services Engineer to design	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.7.4	Hot water									
	Building Services Engineer to design	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage

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item	requirement	action	site	houses	studio	1b2p	1b2p (UD)	2b3p (UD)	2b4p	3b5p
	Building Services Engineer to design	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.8.2	Electricity									
	Building Services Engineer to design; comply with Table 5.4: Minimum number and location of socket outlets; set out building services in accordance with fourth paragraph	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.8.3	Gas									
	Building Services Engineer to design	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.8.4	Telephone									
	Building Services Engineer to design	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.8.8.5	TV outlet									
	Building Services Engineer to design	CUN	n/a	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage	TBD at detail design stage
5.9	Storage facilities									
5.9.1	General									
	Allow for storing household items, refuse, fuel, food, kitchen equipment, clothing and linen	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.9.2	General storage provision									
	Comply with Table 5.1; make storage accessible from circulation space; allow for coat hanging and prams in entrance halls of family dwellings	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.9.3	Hot press									
	Provide 0.3 sqm in smaller dwellings and 0.5 sqm in dwellings with four or more occupants, accessible from circulation space	SCA	n/a	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5.9.4	Refuse and fuel storage									
	Provide location for storage of bins, location should not detract form visual amenity	SCA	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
	Adopt a waste management plan for high density schemes	KCC to advise	Yes	n/a	n/a	n/a	n/a	n/a	n/a	n/a

ends

5.8 Housing Quality Assessment

5.8.1 The table below compares the space standards required by the brief with those achieved by the design.

unit number	unit type code	unit description	floor area achieved (m ²)	floor area required (m ²)	additional area 10%	dual aspect	kitchen/ dining/living area achieved (m ²)	kitchen/ dining/living area required (m ²)	main living space width achieved (m)	main living space width area required (m ²)	bedroom 1 (double) area achieved (m ²)	bedroom 1 area required (m ²)	bedroom 2 (twin) area achieved (m ²)	bedroom 2 area required (m ²)	bedroom 3 (single) area achieved (m ²)	bedroom 3 area required (m ²)	aggregate bedroom area achieved (m ²)	aggregate bedroom area area required (m ²)	storage provision area achieved (m ²)	storage provision area required (m ²)	private open space area achieved (m ²)	private open space area required (m ²)	private open space depth of primary space (m)
UNIT A1	2BHouse	2 bedroom, 3 person house	88.33	85	N	Y	30.4	30	3.8	3.6	13.2	11.4	8.5	7.1		0	21.7	18.5	9.5	6	33.0	30	5.5
UNIT A2	2B3P	2 bedroom, 3 person apartment	73.95	63	Y	Y	29.0	28	3.6	3.6	13.2	13	7.3	7.1		0	20.5	20.1	6.7	5	21.6	6	2.7
UNIT A3	2B4P	2 bedroom, 4 person duplex apartment	89.80	73	Y	Y	30.6	30	5.1	3.6	12.5	11.4	13.3	13		0	25.8	24.4	8.2	6	24.5	7	2.2
UNIT A4	2BHouse	2 bedroom, 4 person house	103.04	85	Y	Y	35.7	30	3.3	3.6	17.9	11.4	14.8	13		0	32.7	24.4	7.4	6	61.1	30	4.3
UNIT B1	2B3P	2 bedroom, 3 person apartment	73.06	63	Y	Y	28.9	28	3.6	3.6	13.0	13	7.2	7.1		0	20.2	20.1	5.9	5	65.0	6	3.7
UNIT B2	2B4P	2 bedroom, 4 person duplex apartment	88.18	73	Y	Y	30.0	30	5.1	3.6	11.5	11.4	13.3	13		0	24.9	24.4	8.1	6	24.5	7	2.3
UNIT B3	2B3P	2 bedroom, 3 person apartment	73.95	63	Y	Y	29.0	28	3.6	3.6	13.1	13	7.2	7.1		0	20.3	20.1	6.7	5	37.6	6	3.7
UNIT B4	2B4P	2 bedroom, 4 person duplex apartment	89.80	73	Y	Y	30.6	30	5.1	3.6	11.5	11.4	13.3	13		0	24.9	24.4	8.1	6	24.5	7	2.3
UNIT B5	1B2P	1 bedroom, 2 person apartment	66.14	45	Y	Y	28.2	23	3.6	3.3	13.4	11.4		0		0	13.4	11.4	6.2	3	19.3	5	3.7
UNIT B6	2B4P	2 bedroom, 4 person duplex apartment	89.80	73	Y	Y	30.6	30	5.1	3.6	12.5	11.4	13.3	13		0	25.8	24.4	8.1	6	19.5	7	2.3
UNIT C1	2B3P	2 bedroom, 3 person apartment	72.94	63	Y	Y	28.0	28	4.9	3.6	13.5	13	8.1	7.1		0	21.6	20.1	5.8	5	52.5	6	1.9
UNIT C2	1B2P	1 bedroom, 2 person apartment	55.10	45	Y	Y	23.7	23	3.6	3.3	11.5	11.4		0		0	11.5	11.4	4.2	3	18.8	5	3.1
UNIT C3	3B5P	3 bedroom, 5 person duplex apartment	110.96	90	Y	Y	37.0	34	5.1	3.8	11.8	11.4	14.0	13	7.9	7.1	33.6	31.5	9.9	9	52.0	9	3.8
UNIT C4	1B2P	1 bedroom, 2 person apartment	55.98	45	Y	Y	23.3	23	4.0	3.3	13.0	11.4		0		0	13.0	11.4	3.1	3	17.4	5	3.1
UNIT C5	1B2P	1 bedroom, 2 person apartment	55.10	45	Y	Y	23.7	23	3.6	3.3	11.5	11.4		0		0	11.5	11.4	4.2	3	19.1	5	3.1
UNIT C6	3B5P	3 bedroom, 5 person duplex apartment	111.96	90	Y	Y	38.6	34	5.0	3.8	12.3	11.4	14.0	13	7.9	7.1	34.1	31.5	9.9	9	51.7	9	3.2
UNIT C7	1B2P	1 bedroom, 2 person apartment	55.98	45	Y	Y	23.3	23	4.0	3.3	13.0	11.4		0		0	13.0	11.4	3.1	3	17.4	5	3.3
UNIT C8	1B2P	1 bedroom, 2 person apartment	55.10	45	Y	Y	23.7	23	3.6	3.3	11.5	11.4		0		0	11.5	11.4	4.2	3	19.2	5	3.4
UNIT C9	3B5P	3 bedroom, 5 person duplex apartment	111.96	90	Y	Y	38.0	34	5.0	3.8	12.3	11.4	14.0	13	7.9	7.1	34.1	31.5	9.9	9	52.6	9	3.5
UNIT C10	2B4P	2 bedroom, 4 person apartment	86.85	73	Y	Y	36.0	30	3.6	3.6	11.5	11.4	14.0	13		0	25.5	24.4	6.9	6	110.8	7	3.6
UNIT C11	2B4P	2 bedroom, 4 person apartment	93.09	73	Y	Y	31.8	30	5.1	3.6	13.9	11.4	13.1	13		0	27.0	24.4	8.2	6	38.9	7	3.7
UNIT C12	2B4P	2 bedroom, 4 person apartment	82.37	73	Y	Y	31.8	30	3.6	3.6	11.5	11.4	13.0	13		0	24.5	24.4	6.4	6	76.8	7	3.8
UNIT C13	2B4P	2 bedroom, 4 person apartment	83.08	73	Y	Y	31.8	30	5.1	3.6	13.9	11.4	13.1	13		0	27.0	24.4	8.3	6	32.0	7	3.9
UNIT D1	1B2P	1 bedroom, 2 person apartment	55.98	45	Y	Y	23.3	23	4.0	3.3	13.0	11.4		0		0	13.0	11.4	3.2	3	41.4	5	3.10
UNIT D2	1B2P	1 bedroom, 2 person apartment	55.10	45	Y	Y	23.5	23	3.6	3.3	11.5	11.4		0		0	11.5	11.4	4.2	3	27.9	5	3.11
UNIT D3	3B5P	3 bedroom, 5 person duplex apartment	111.96	90	Y	Y	38.4	34	5.0	3.8	12.3	11.4	14.0	13	7.9	7.1	34.1	31.5	10.0	9	52.1	9	3.12
UNIT D4	1B2P	1 bedroom, 2 person apartment	55.98	45	Y	Y	23.3	23	4.0	3.3	13.0	11.4		0		0	13.0	11.4	3.1	3	23.5	5	3.13
UNIT D5	1B2P	1 bedroom, 2 person apartment	55.10	45	Y	Y	23.5	23	3.6	3.3	11.5	11.4		0		0	11.5	11.4	4.3	3	27.9	5	3.14
UNIT D6	3B5P	3 bedroom, 5 person duplex apartment	111.96	90	Y	Y	38.4	34	5.0	3.8	12.3	11.4	14.0	13	7.9	7.1	34.1	31.5	9.9	9	52.1	9	3.15
UNIT D7	3BHouse	3 bedroom, 5 person house	118.73	100	Y	Y	37.1	34	4.5	3.8	11.5	11.4	13.3	13	8.9	7.1	33.7	31.5	9.6	9	104.2	40	3.16

Fig. 45. Housing Quality Assessment

5.9 Visual Impact on Protected / Historic Views

- 5.9.1 Historic skyline views are identified in the Kildare Town Local Area Plan 2023 - 2029 on Map 8.4 "Built Heritage and Archaeology: Scenic Routes and Protected Views". View HS4 from Melitta Road could potentially be impacted by development on the subject site.
- 5.9.2 Protected Views were identified in the Kildare Town Local Area Plan 2013 - 2018 on Map 8.5 "Views, Prospects & Townscape Objectives" and the subsequent reference image sheet. View 11 on Melitta Road / Campion Crescent and View 13 on Melitta Road could potentially be impacted by development on the subject site.
- 5.9.3 Views HS4 and 13 represent the same viewpoint.
- 5.9.4 The design team have prepared verified views to assess the impact of the proposed development on views 11 and 13 / HS4.
- 5.9.5 As can be seen in "Fig. 48. Verified View V1: Protected View 11" on page 52 and "Fig. 49. Verified View V2: Protected View 13 & HS4" on page 53, the development is entirely obscured behind existing mature planting from both views.

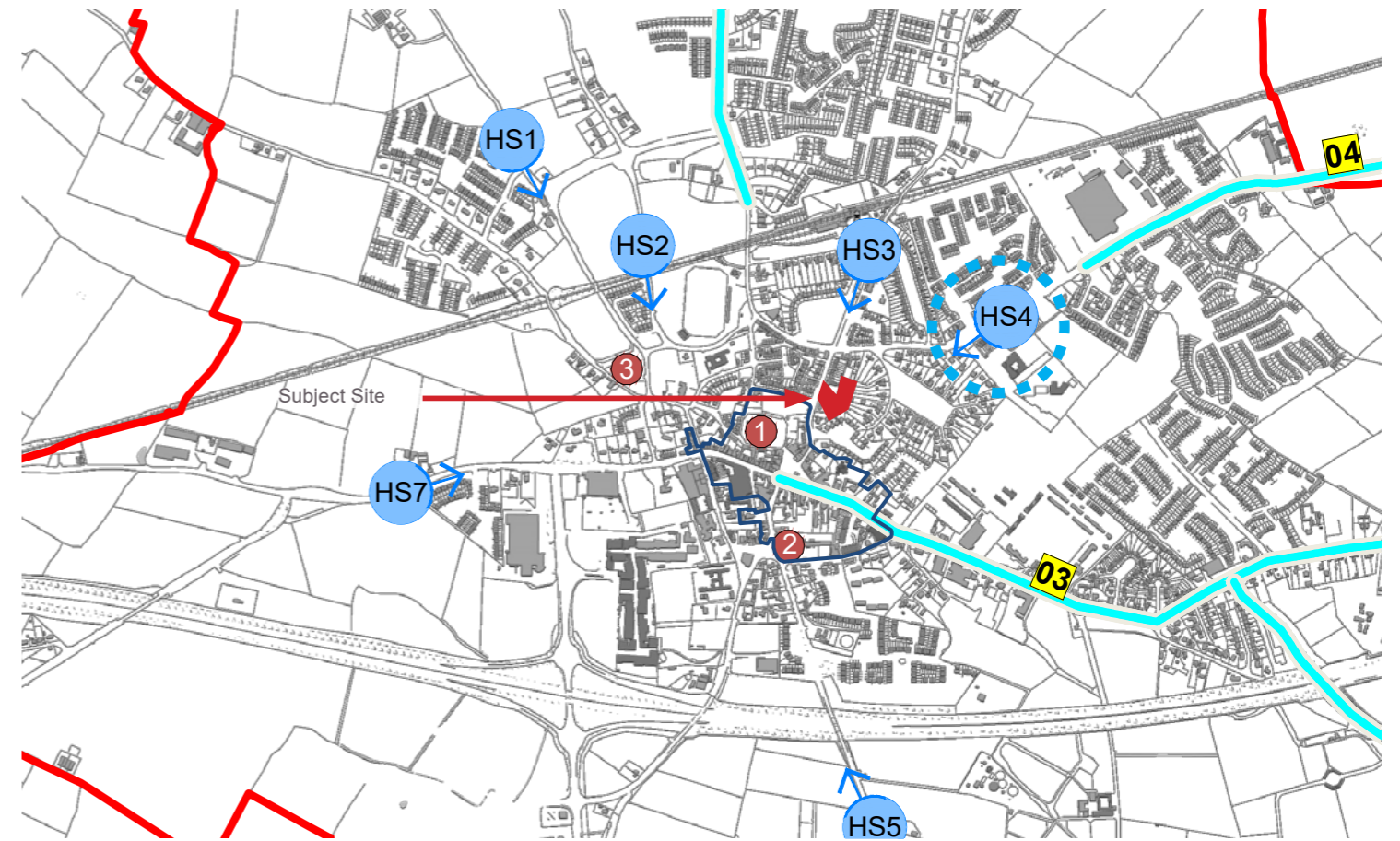


Fig. 46. Extract from Kildare Town Local Area Plan 2023 - 2029 Map 8.4

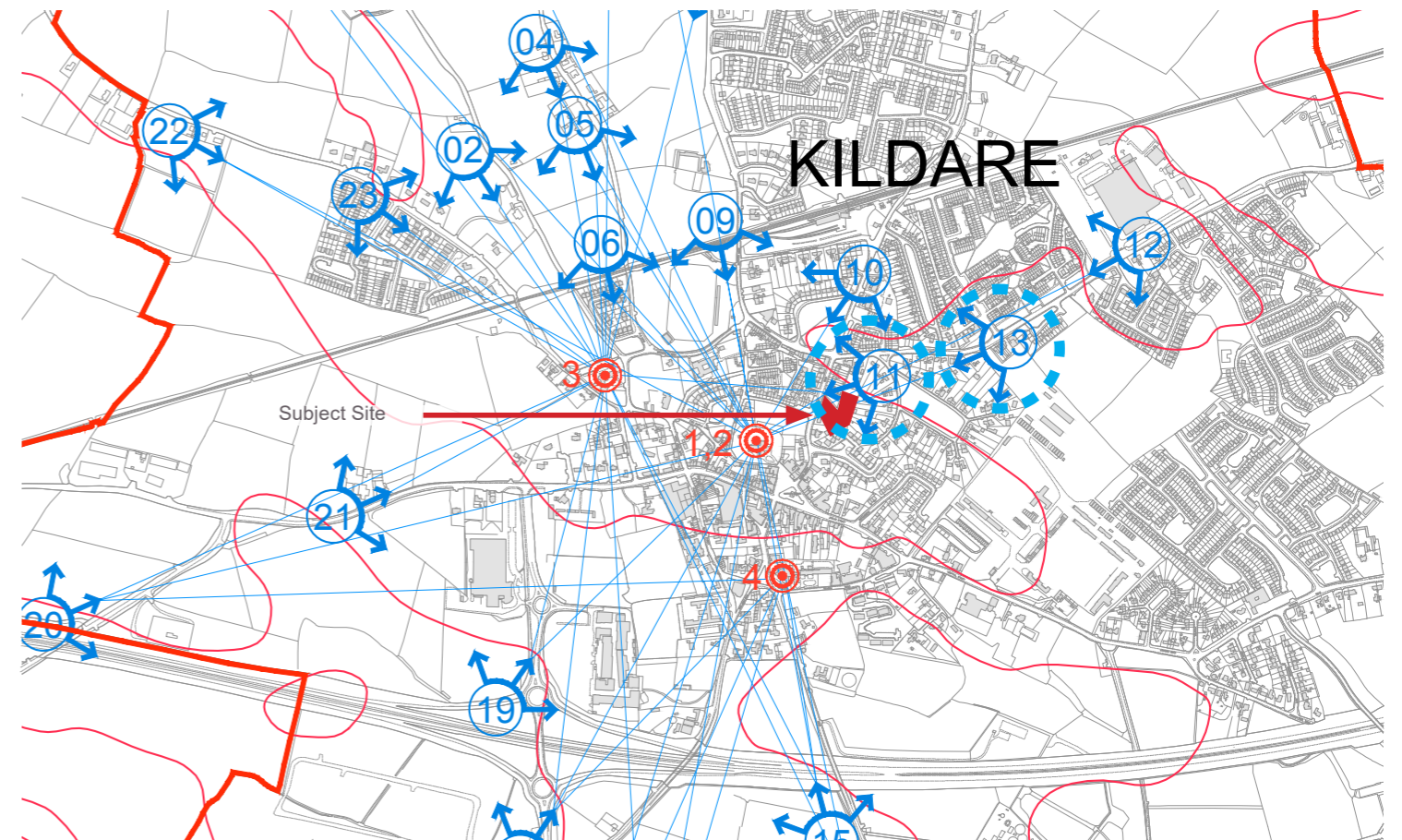


Fig. 47. Extract from Kildare Town Local Area Plan 2012 - 2018 Map 8.5



Fig. 48. Verified View V1: Protected View 11



Outline of Proposed Development

Fig. 49. Verified View V2: Protected View 13 & HS4



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